

# Exhibit "C"

## PROJECT ESTIMATE - DETAIL

Rec Center						
3/20/2023						
Division	DESCRIPTION	Location/Notes	QUANTITY	UNIT	COST/UNIT	TOTAL COST
<b>CONCRETE</b>						
	<b>Concrete</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Thompson Concrete</b>	1.0	LSUM	\$ 2,144,342.00	\$ 2,144,342
	4" SOG	Pool Deck	7,641.0	SQFT	\$ 6.71	Inc. Above
	4" SOG		45,476.0	SQFT	\$ 6.71	Inc. Above
	Elevated Decks	Slab on Metal Deck - Second Floor / Mezz / Rooftop	17,609.0	SQFT	\$ 7.49	Inc. Above
	Elevated Decks	Patio				
		Slab on Metal Deck - Running Track	6,201.0	SQFT	\$ 7.49	Inc. Above
	Foundations - Shallow	Column footing - 3'-0" height x 2 x 2	25.0	CY	\$ 1,291.25	Inc. Above
	Foundations - Shallow	Column footing - 3'-8" height x 2 x 2	24.0	CY	\$ 1,291.25	Inc. Above
	Foundations - Shallow	Column footing - 3'-10" height x 2 x 2	19.0	CY	\$ 1,291.25	Inc. Above
	Foundations - Shallow	Foundation wall - 6" thick x 1'-0" height	3.0	CY	\$ 1,007.18	Inc. Above
	Foundations - Shallow	Foundation wall - 6" thick x 1'-8" height	14.0	CY	\$ 1,007.18	Inc. Above
	Foundations - Shallow	Foundation wall - 6" thick x 1'-10" height	9.0	CY	\$ 1,007.18	Inc. Above
	Foundations - Shallow	Foundation wall - 16" thick x 1'-0" height	16.0	CY	\$ 1,007.18	Inc. Above
	Foundations - Shallow	Foundation wall - 16" thick x 1'-8" height	48.0	CY	\$ 1,007.18	Inc. Above
	Foundations - Shallow	Foundation wall - 16" thick x 1'-10" height	14.0	CY	\$ 1,007.18	Inc. Above
	Foundations - Shallow	Column pad - F40	13.0	CY	\$ 1,136.30	Inc. Above
	Foundations - Shallow	Column pad - F50	22.0	CY	\$ 1,136.30	Inc. Above
	Foundations - Shallow	Column pad - F60	68.0	CY	\$ 1,136.30	Inc. Above
	Foundations - Shallow	Column pad - F70	85.0	CY	\$ 1,136.30	Inc. Above
	Foundations - Shallow	Column pad - F80	41.0	CY	\$ 1,136.30	Inc. Above
	Foundations - Shallow	Column pad - F90	27.0	CY	\$ 1,136.30	Inc. Above
	Foundations - Shallow	Continuous footing - WF20	58.0	CY	\$ 878.05	Inc. Above
	Foundations - Shallow	Continuous footing - WF26	89.0	CY	\$ 878.05	Inc. Above
	Foundations - Shallow	Continuous footing - WF30	83.0	CY	\$ 878.05	Inc. Above
	Foundations	Elevator Pit	1.0	LSUM	\$ 15,495.00	Inc. Above
	Walls	Pool Equipment Room Walls	19.0	CY	\$ 1,291.25	Inc. Above
	Pool Pit Waterproofing		1.0	LSUM	\$ 103,300.00	Inc. Above
	Elevator Pit Waterproofing		1.0	LSUM	\$ 5,165.00	Inc. Above
OSU	4" SOG		15,167.0	SQFT	\$ 6.00	Inc. Above
OSU	Foundations - Shallow	Column footing - 3'-0" height x 2 x 2	8.0	CY	\$ 1,250.00	Inc. Above
OSU	Foundations - Shallow	Column footing - 3'-8" height x 2 x 2	7.0	CY	\$ 1,250.00	Inc. Above
OSU	Foundations - Shallow	Foundation wall - 6" thick x 1'-8" height	11.0	CY	\$ 975.00	Inc. Above
OSU	Foundations - Shallow	Column pad - F80	70.0	CY	\$ 1,100.00	Inc. Above
OSU	Foundations - Shallow	Column pad - F90	9.0	CY	\$ 1,100.00	Inc. Above
OSU	Foundations - Shallow	Column pad - F100	49.0	CY	\$ 1,100.00	Inc. Above
OSU	Foundations - Shallow	Continuous footing - WF20	31.0	CY	\$ 850.00	Inc. Above
OSU	Foundations - Shallow	Continuous footing - WF30	26.0	CY	\$ 850.00	Inc. Above
	Adjustment - SOMD Total SF		1.0	LSUM	\$ (25,496.00)	\$ (25,496)
	Recessed Slab Areas	ALLOWANCE	28,050.0	SQFT	\$ 3.50	\$ 98,175
	Slab on Metal Deck Opening Protection During Pours		1.0	LSUM	\$ 30,000.00	\$ 30,000
	Slab Protection (Ram Board or Similar)		1.0	LSUM	\$ 20,000.00	\$ 20,000
<b>SUB-TOTAL</b>						<b>\$ 2,267,021</b>
<b>METALS</b>						
	<b>Metals</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Foundation Steel</b>	1.0	LSUM	\$ 4,623,800.00	\$ 4,623,800
	Beam	W12x14	70.9	TON	\$ 6,198.00	Inc. Above
	Beam	W14x22	17.3	TON	\$ 6,198.00	Inc. Above
	Beam	W16x26	10.7	TON	\$ 6,198.00	Inc. Above
	Beam	W16x31	0.4	TON	\$ 6,198.00	Inc. Above
	Beam	W18x35	26.7	TON	\$ 6,198.00	Inc. Above
	Beam	W18x50	12.0	TON	\$ 6,198.00	Inc. Above
	Beam	W21x44	5.1	TON	\$ 6,198.00	Inc. Above
	Beam	W21x50	12.1	TON	\$ 6,198.00	Inc. Above
	Beam	W24x131	12.3	TON	\$ 6,198.00	Inc. Above
	Beam	W24x176	57.3	TON	\$ 6,198.00	Inc. Above
	Beam	W24x192	22.6	TON	\$ 6,198.00	Inc. Above
	Beam	W24x229	40.8	TON	\$ 6,198.00	Inc. Above
	Beam	W24x55	35.4	TON	\$ 6,198.00	Inc. Above
	Beam	W24x76	7.3	TON	\$ 6,198.00	Inc. Above
	Beam	W24x84	26.1	TON	\$ 6,198.00	Inc. Above
	Column	W10x45	10.8	TON	\$ 6,198.00	Inc. Above
	Column	W10x45 - low roof	4.0	TON	\$ 6,198.00	Inc. Above
	Column	W12x152	24.3	TON	\$ 6,198.00	Inc. Above
	Column	W12x190	170.2	TON	\$ 6,198.00	Inc. Above
	Column	W12x65	20.8	TON	\$ 6,198.00	Inc. Above
	Floor Decking		26,454.0	SQFT	\$ 6.20	Inc. Above



Rec Center						
3/20/2023						
Division	DESCRIPTION	Location/Notes	QUANTITY	UNIT	COST/UNIT	TOTAL COST
	Roof Decking		53,836.0	SQFT	\$ 5.68	Inc. Above
OSU	Beam	W12x14	4.7	TON	\$ 6,000.00	Inc. Above
OSU	Beam	W14x22	7.0	TON	\$ 6,000.00	Inc. Above
OSU	Beam	W16x26	26.9	TON	\$ 6,000.00	Inc. Above
OSU	Beam	W18x35	12.5	TON	\$ 6,000.00	Inc. Above
OSU	Beam	W18x40	18.2	TON	\$ 6,000.00	Inc. Above
OSU	Beam	W24x55	10.4	TON	\$ 6,000.00	Inc. Above
OSU	Column	W10x49	25.1	TON	\$ 6,000.00	Inc. Above
OSU	Floor Decking		14,815.0	SQFT	\$ 6.00	Inc. Above
OSU	Roof Decking		14,907.0	SQFT	\$ 5.50	Inc. Above
	Missing Steel	ALLOWANCE	1.0	LSUM	\$ 150,000.00	\$ 150,000
	Temporary Enclosures		1.0	LSUM	\$ 40,000.00	\$ 40,000
	BIM Coordination		1.0	LSUM	\$ 30,000.00	\$ 30,000
SUB-TOTAL						\$ 4,843,800
ROOFING						
	Roofing					
	SUBCONTRACTOR BID	Hittle Roofing	1.0	LSUM	\$ 2,516,875.00	\$ 2,516,875
OSU	Metal Roofing		17,519.0	SQFT	\$ 22.79	Inc. Below
OSU	Sheet Metals		1.0	LSUM	\$ 15,000.00	Inc. Below
	EPDM Roofing		25,470.0	SQFT	\$ 22.73	Inc. Below
	Metal Roofing		54,715.0	SQFT	\$ 36.16	Inc. Below
	Sheet Metals / Coping Caps		1.0	LSUM	\$ 25,825.00	Inc. Below
	Walkway Pads	To East Mechanical Penthouse	1.0	LSUM	\$ 2,500.00	\$ 2,500
	Wood Blocking		1.0	LSUM	\$ 50,000.00	\$ 50,000
	Roof Access / Safety Coordination / Temp Railings		1.0	LSUM	\$ 25,000.00	\$ 25,000
	Dumpsters		1.0	LSUM	\$ 40,000.00	\$ 40,000
SUB-TOTAL						\$ 2,634,375

\*NOTE: Quantities and unit prices above are approximate for budgetary purposes only. These quantities & unit prices are not to be used as a basis for change orders.

Exhibit "C"  
**PROJECT ESTIMATE - DETAIL**

Pavilion Bldg 3/20/2023						
Division	DESCRIPTION	Location/Notes	QUANTITY	UNIT	COST/UNIT	TOTAL COST
<b>CONCRETE</b>						
	<b>Concrete</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Thompson Concrete</b>	1.0	LSUM	\$ 773,949.00	\$ 773,949
	4" SOG		2,225.0	SQFT	\$ 6.70	Inc. Above
	Foundations - Shallow		2,225.0	SQFT	\$ 10.30	Inc. Above
	Heavy Duty Concrete	<b>8" Thick</b>	5,615.0	SQFT	\$ 15.45	Inc. Above
	Standard Duty Concrete	<b>4" Thick</b>	45,681.0	SQFT	\$ 6.18	Inc. Above
	Concrete Curb		6,386.0	LNFT	\$ 20.60	Inc. Above
	Bollard Fill & Set		8.0	EACH	\$ 154.50	Inc. Above
	Concrete Seat Wall		25.0	CY	\$ 669.50	Inc. Above
	Concrete Seat Wall Foundations		25.0	CY	\$ 772.50	Inc. Above
	Dumpster Enclosure Bollards		8.0	EACH	\$ 515.00	Inc. Above
	Interior / Exterior Backfill of Foundations		1.0	LSUM	\$ 10,000.00	\$ 10,000
<b>SUB-TOTAL</b>						<b>\$ 783,949</b>
<b>MASONRY</b>						
	<b>Masonry</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Valentine Masonry</b>	1.0	LSUM	\$ 190,000.00	\$ 190,000
	CMU - Exterior Walls	<b>Split Face Finish</b>	1,165.0	SQFT	\$ 41.20	Inc. Above
	CMU - 8"	<b>Interior Walls</b>	1,598.0	SQFT	\$ 22.66	Inc. Above
	CMU - 6"	<b>Interior Walls</b>	1,034.0	SQFT	\$ 22.66	Inc. Above
	Stone Water Table		658.0	SQFT	\$ 56.65	Inc. Above
	Stone Cap		16.0	SQFT	\$ 77.25	Inc. Above
	Setting HM Door Frames		1.0	LSUM	\$ 5,000.00	\$ 5,000
	Daily Jobsite Clean-Up / Temp Labor		1.0	LSUM	\$ 15,000.00	\$ 15,000
<b>SUB-TOTAL</b>						<b>\$ 210,000</b>
<b>CARPENTRY</b>						
	<b>Carpentry</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Interior Supply / T7 (Doors/Frames/Hardware)</b>	1.0	LSUM	\$ 57,626.00	\$ 57,626
	<b>SUBCONTRACTOR BID</b>	<b>Interior Supply (Div. 10 Specialties - Materials)</b>	1.0	LSUM	\$ 29,000.00	\$ 29,000
	<b>SUBCONTRACTOR BID</b>	<b>WF Bolin (Painting)</b>	1.0	LSUM	\$ 41,850.00	\$ 41,850
	HM Doors / Frames / Hardware / Install		12.0	EACH	\$ 3,090.00	Inc. Above
	Exposed Ceilings		376	SQFT	\$ 1.03	Inc. Above
	Gyp Ceilings		1,762	SQFT	\$ 1.55	Inc. Above
	Misc. Building Painting		2,225	SQFT	\$ 3.09	Inc. Above
	Caulking		2,225.0	SQFT	\$ 0.52	Inc. Above
	Toilet Partition - Single		13.0	EACH	\$ 1,545.00	Inc. Above
	Toilet Partition - HC		2.0	EACH	\$ 2,575.00	Inc. Above
	Urinal Screen		4.0	EACH	\$ 360.50	Inc. Above
	Roof Joists & Misc. Framing	<b>ALLOWANCE</b>	2,225.0	SQFT	\$ 50.00	\$ 111,250
	Exterior Sheathing / Vapor Barrier / Rigid Insulation		2,025.0	SQFT	\$ 12.50	\$ 25,313
	Fiber Cement Siding	<b>ALLOWANCE</b>	2,025.0	SQFT	\$ 30.00	\$ 60,750
	Exterior Soffit	<b>ALLOWANCE</b>	2,775.0	SQFT	\$ 12.50	\$ 34,688
	Gyp Ceilings		1,975.0	SQFT	\$ 10.00	\$ 19,750
	ACT Ceilings		250.0	SQFT	\$ 5.00	\$ 1,250
	Polished Concrete		2,225	SQFT	\$ 4.00	\$ 8,900
	Installation - Div. 10		1.0	LSUM	\$ 10,000.00	\$ 10,000
	Final Cleaning		1.0	LSUM	\$ 10,000.00	\$ 10,000
	Finish / Punch Out Protection		1.0	LSUM	\$ 7,500.00	\$ 7,500
<b>SUB-TOTAL</b>						<b>\$ 417,876</b>
<b>ROOFING</b>						
	<b>Roofing</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Hittle Roofing</b>	1.0	LSUM	\$ 135,375.00	\$ 135,375
	Standing Seam Metal Roof		3,154.0	SQFT	\$ 30.90	Inc. Above
	Gutters		76.0	LNFT	\$ 15.45	Inc. Above
	Downspouts		40.0	LNFT	\$ 20.60	Inc. Above
	Wood Blocking		1.0	LSUM	\$ 10,000.00	\$ 10,000
	Roof Access & Safety Coordination		1.0	LSUM	\$ 2,500.00	\$ 2,500
<b>SUB-TOTAL</b>						<b>\$ 147,875</b>

Pavilion Bldg						
3/20/2023						
Division	DESCRIPTION	Location/Notes	QUANTITY	UNIT	COST/UNIT	TOTAL COST
<b>PLUMBING</b>						
	<b>Plumbing</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Accurate Mechanical</b>	1.0	LSUM	\$ 224,207.00	\$ 224,207
	Drinking Fountain & Bottle Filler	<b>Site</b>	2.0	EACH	\$ 3,605.00	Inc. Above
	Drinking Fountain & Bottle Filler	<b>Bldg</b>	2.0	EACH	\$ 3,605.00	Inc. Above
	Sinks		12.0	EACH	\$ 3,605.00	Inc. Above
	Toilets		17.0	EACH	\$ 4,635.00	Inc. Above
	Urinals		5.0	EACH	\$ 4,635.00	Inc. Above
	BIM Coordination		1.0	LSUM	\$ 10,000.00	\$ 10,000
	Final Cleaning of Piping & Equipment		1.0	LSUM	\$ 5,000.00	\$ 5,000
<b>SUB-TOTAL</b>						<b>\$ 239,207</b>
<b>HVAC</b>						
	<b>HVAC</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Accurate Mechanical</b>	1.0	LSUM	\$ 61,150.00	\$ 61,150
	HVAC		2,225.0	SQFT	\$ 37.08	Inc. Above
	BIM Coordination		1.0	LSUM	\$ 10,000.00	\$ 10,000
	Final Cleaning of Duct & Equipment		1.0	LSUM	\$ 5,000.00	\$ 5,000
<b>SUB-TOTAL</b>						<b>\$ 76,150</b>
<b>ELECTRICAL</b>						
	<b>Electrical</b>					
	<b>SUBCONTRACTOR BID</b>	<b>SME</b>	1.0	LSUM	\$ 1,583,760.00	\$ 1,583,760
	Electrical		2,225.0	SQFT	\$ 29.87	Inc. Above
	Access Controls	<b>Rough-in Support Only</b>	2,225.0	GSF	\$ 6.94	Inc. Above
	Security Systems	<b>Rough-in Support Only</b>	2,225.0	GSF	\$ 11.57	Inc. Above
	Wifi System	<b>Rough-in Support Only</b>	2,225.0	GSF	\$ 18.52	Inc. Above
	Underground Electrical		3,169.0	LNFT	\$ 206.00	Inc. Above
	Underground Technology		3,160.0	LNFT	\$ 154.50	Inc. Above
	Light Poles		31.0	EACH	\$ 4,635.00	Inc. Above
	Install Sports Lighting Package		6.0	EACH	\$ 50,000.00	\$ 300,000
	BIM Coordination		1.0	LSUM	\$ 10,000.00	\$ 10,000
	Temporary Electric Service		1.0	LSUM	\$ 40,000.00	\$ 40,000
	Haul spoils offsite		1.0	LSUM	\$ 40,000.00	\$ 40,000
<b>SUB-TOTAL</b>						<b>\$ 1,973,760</b>
<b>LOW VOLTAGE SYSTEMS / AV &amp; TECHNOLOGY</b>						
	<b>Low Voltage Systems / AV &amp; Technology</b>					
	<b>SUBCONTRACTOR BID</b>	<b>SUBCONTRACTOR NAME</b>	1.0	LSUM	\$ -	\$ -
	Wifi System		1.0	LSUM	\$ -	Excluded
	Data Cabling		1.0	LSUM	\$ -	Excluded
	Security Systems		1.0	LSUM	\$ -	Excluded
	Access Controls		1.0	LSUM	\$ -	Excluded
	AV & Technology		1.0	LSUM	\$ -	Excluded
<b>SUB-TOTAL</b>						<b>NOT USED</b>

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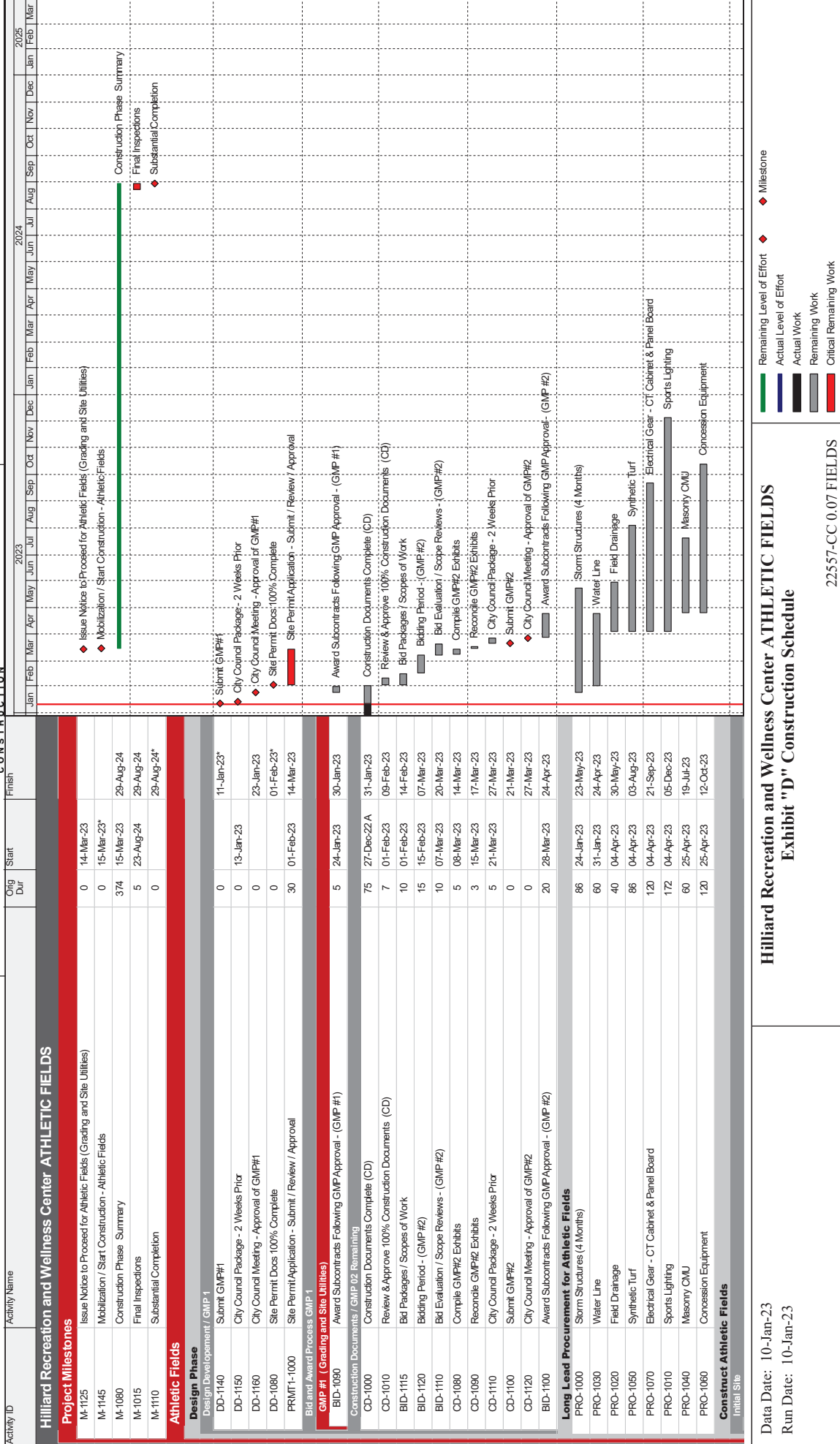
# Exhibit "C"

## PROJECT ESTIMATE - DETAIL

Site Estimate Detail - Athletic Complex						
3/20/2023						
Division	DESCRIPTION	Location/Notes	QUANTITY	UNIT	COST/UNIT	TOTAL COST
<b>SPORTS LIGHTING</b>						
	<b>Sports Lighting</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Musco</b>	1.0	LSUM	\$ 282,844.00	\$ 282,844
	Sports Lighting	Installation w/Electrical	6.0	EACH	\$ 129,375.00	Inc. Above
	Protection of Turf During Install		1.0	LSUM	\$ 15,000.00	\$ 15,000
					<b>SUB-TOTAL</b>	<b>\$ 297,844</b>
<b>ASPHALT PAVING</b>						
	<b>Asphalt</b>					
	<b>SUBCONTRACTOR BID</b>	<b>AJ Asphalt</b>	1.0	LSUM	\$ 1,098,460.00	\$ 1,098,460
	Heavy Duty Asphalt - asphalt & remaining stone	Proposed Loop Road	5,677.0	SY	\$ 31.05	Inc. Above
	Heavy Duty Asphalt - asphalt & remaining stone	Parking Lots	6,074.0	SY	\$ 31.05	Inc. Above
	Light Duty Asphalt - asphalt & remaining stone	Parking Lots	17,254.0	SY	\$ 27.95	Inc. Above
	Parking Blocks	Parking Lots	171.0	EACH	\$ 181.13	Inc. Above
	Parking Stall Striping		561.0	EACH	\$ 36.23	Inc. Above
	Light Duty Asphalt	Multi-Use Trail	5,519.0	SY	\$ 39.33	Inc. Above
	Misc. Striping		1.0	LSUM	\$ 20,700.00	Inc. Above
	Signage	Handicap Signs			\$ -	Excluded
	Laser Survey of Existing Stone / Touch Up		1.0	LSUM	\$ 30,000.00	\$ 30,000
	Surveying / Staking - Trail		1.0	LSUM	\$ 15,000.00	\$ 15,000
					<b>SUB-TOTAL</b>	<b>\$ 1,143,460</b>
<b>LANDSCAPING</b>						
	<b>Landscaping</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Greenscape</b>	1.0	LSUM	\$ 967,923.00	\$ 967,923
	Irrigation	Per Irrigation Consultant	1.0	LSUM	\$ 362,250.00	Inc. Above
	Bio-Retention Plantings - 24" Depth		3,069.0	SY	\$ 36.23	Inc. Above
	Trees - MD		316.0	EACH	\$ 362.25	Inc. Above
	Landscaping Package	Lawn, Mulches, Topsoils, Shrubs, Plantings	1.0	LSUM	\$ 414,000.00	Inc. Above
	Tables w/Chairs		20.0	EACH	\$ 1,552.50	Inc. Above
	Litter Receptacles		6.0	EACH	\$ 517.50	Inc. Above
	Benches		2.0	EACH	\$ 1,552.50	Inc. Above
	Bike Racks		24.0	EACH	\$ 362.25	Inc. Above
	Soccer Ball Bollards		6.0	EACH	\$ 1,552.50	Inc. Above
	Soccer Goals				\$ -	By Owner
	Entry Sign	ALLOWANCE	1.0	LSUM	\$ 20,000.00	\$ 20,000
	Maintenance of Site During Construction (Weeding, Lawn Care, etc.)		1.0	LSUM	\$ 25,000.00	\$ 25,000
	Topsoil Stockpile Erosion Control / Maintenance / Double Handle		1.0	LSUM	\$ 15,000.00	\$ 15,000
					<b>SUB-TOTAL</b>	<b>\$ 1,027,923</b>
<b>FENCING</b>						
	<b>Fencing</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Petty Group</b>	1.0	LSUM	\$ 103,060.00	\$ 103,060
	Wood Guardrail		1,296.0	LNFT	\$ 119.03	Inc. Above
	Chain Link Fence	4' Tall	1,717.0	LNFT	\$ 31.05	Inc. Above
	Chain Link Fence	Gates - Double	2.0	EACH	\$ 2,587.50	Inc. Above
	Dumpster Enclosure Fence		61.5	LNFT	\$ 258.75	Inc. Above
	Pre-Installation of Sleeves in Curb / Coordination		1.0	LSUM	\$ 5,000.00	\$ 5,000
					<b>SUB-TOTAL</b>	<b>\$ 108,060</b>
<b>NETTING SYSTEMS</b>						
	<b>Netting Systems</b>					
	<b>SUBCONTRACTOR BID</b>	<b>Petty Group</b>	1.0	LSUM	\$ 179,960.00	\$ 179,960
	Netting Systems	20' Tall Pole to Pole Netting Systems - Soccer	180.0	LNFT	\$ 155.25	Inc. Above
	Netting Systems	14' Tall Pole to Pole Netting Systems - Lacrosse	360.0	LNFT	\$ 155.25	Inc. Above
	Utility & Field Underdrainage Coordination		1.0	LSUM	\$ 2,500.00	\$ 2,500
					<b>SUB-TOTAL</b>	<b>\$ 182,460</b>
<b>FIELD SYSTEMS</b>						
	<b>Landscaping</b>					
	<b>SUBCONTRACTOR BID</b>	<b>SCG Fields</b>	1.0	LSUM	\$ 2,815,248.00	\$ 2,815,248
	Sports Field Turf (Seed)		366,319.0	SQFT	\$ 0.78	Inc. Above
	Sports Field Turf (Synthetic)	Pad	176,193.0	SQFT	\$ 1.55	Inc. Above
	Sports Field Turf (Synthetic)	Turf w/Infill	176,193.0	SQFT	\$ 5.18	Inc. Above
	Sports Field Turf (Synthetic)	Premium to go to Organic Infill ILO Rubber Infill	176,193.0	SQFT	\$ 1.55	Inc. Above
	Sports Field Turf (Synthetic)	Fabric / 1"x12" Perforated Flat Panel Underdrain / Stone	176,193.0	SQFT	\$ 3.62	Inc. Above
	Concrete Curb	Field Curb w/Nailer Board	2,259.0	LNFT	\$ 20.70	Inc. Above
	4" Perforated Underdrain		18,059.0	LNFT	\$ 20.70	Inc. Above
	18" Perforated HDPE Collector Drain		2,447.0	LNFT	\$ 67.28	Inc. Above
	Storm Cleanout		12.0	EACH	\$ 517.50	Inc. Above
	Storm Manhole		2.0	EACH	\$ 5,175.00	Inc. Above
	Final Cleaning & Maintenance for Owner Turnover		1.0	LSUM	\$ 25,000.00	\$ 25,000
	Temporary Access Path (Fields)		1.0	LSUM	\$ 50,000.00	\$ 50,000
	Surveying / Layout / Utility Coordination		1.0	LSUM	\$ 25,000.00	\$ 25,000
	Soil Management	ALLOWANCE	1.0	LSUM	\$ 250,000.00	\$ 250,000
					<b>SUB-TOTAL</b>	<b>\$ 3,165,248</b>

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# Hilliard Recreation and Wellness Center ATHLETIC FIELDS



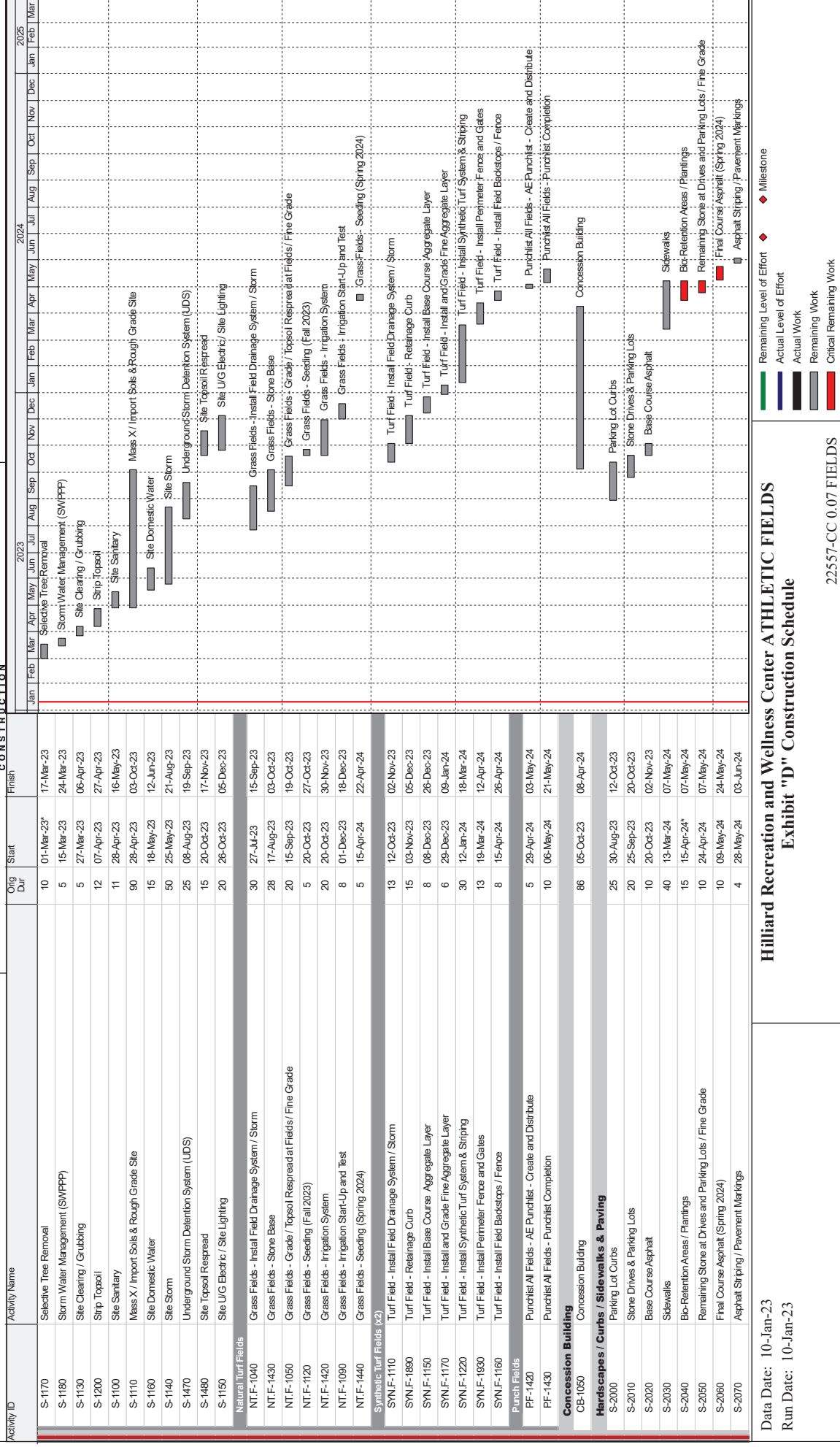
Data Date: 10-Jan-23  
Run Date: 10-Jan-23


## Hilliard Recreation and Wellness Center ATHLETIC FIELDS Exhibit "D" Construction Schedule

22557-CC 0.07 FIELDS

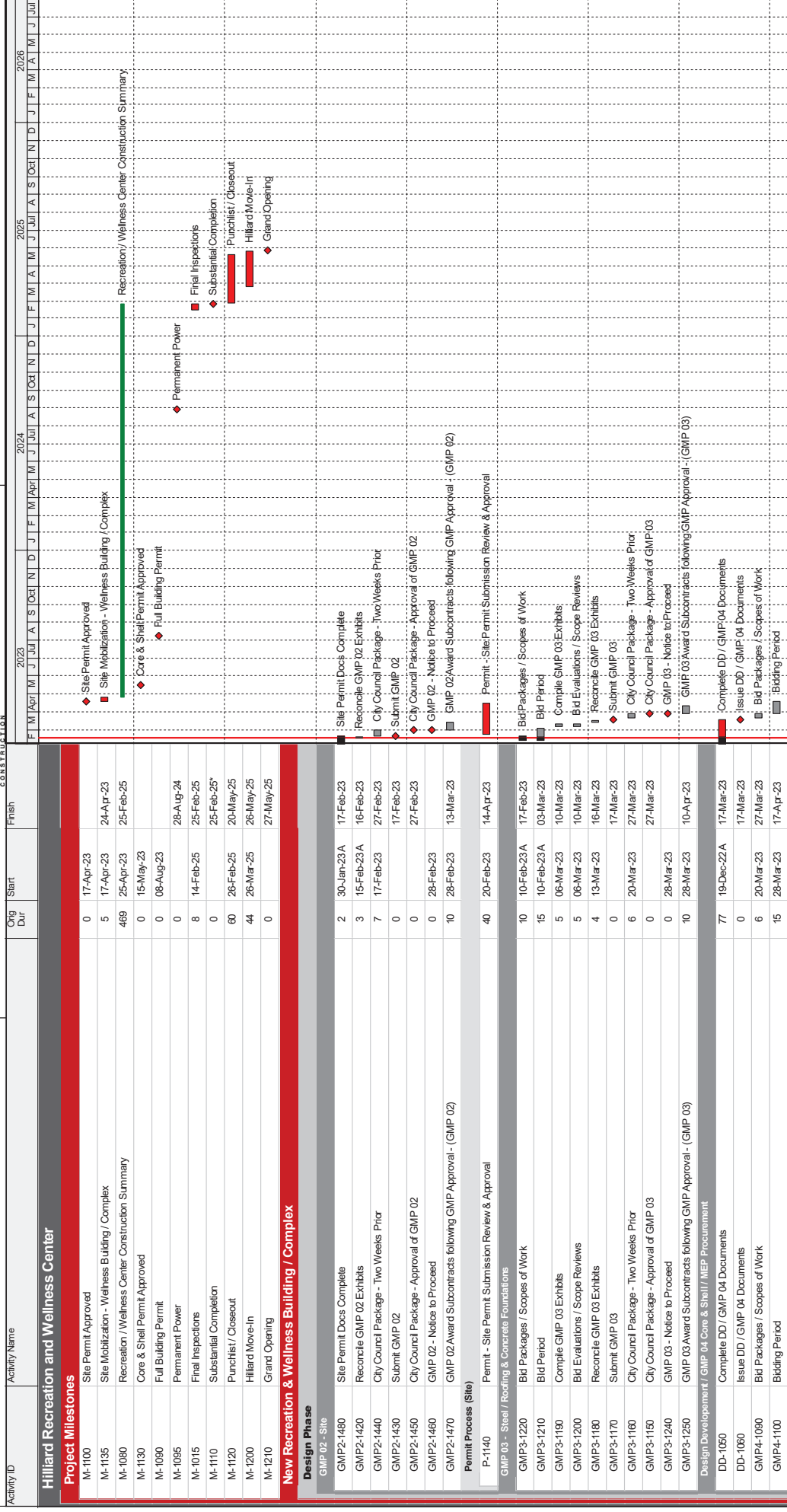


Hilliard Recreation and Wellness Center  
ATHLETIC FIELDS



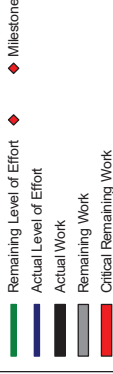
Hilliard Recreation and Wellness Center ATHLETIC FIELDS																																							
Activity ID	Activity Name	Orig Dur	Start	Finish	2023												2024																						
					Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar								
S-2080	Landscape / Trees / Plantings / Hardscape	30	28-May-24	22-Jul-24																																			
S-2090	AE Site Punchlist - Create and Distribute	5	23-Jul-24	29-Jul-24																																			
S-2100	Site Punchlist Completion	20	30-Jul-24	26-Aug-24																																			
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# Hilliard Recreation and Wellness Center

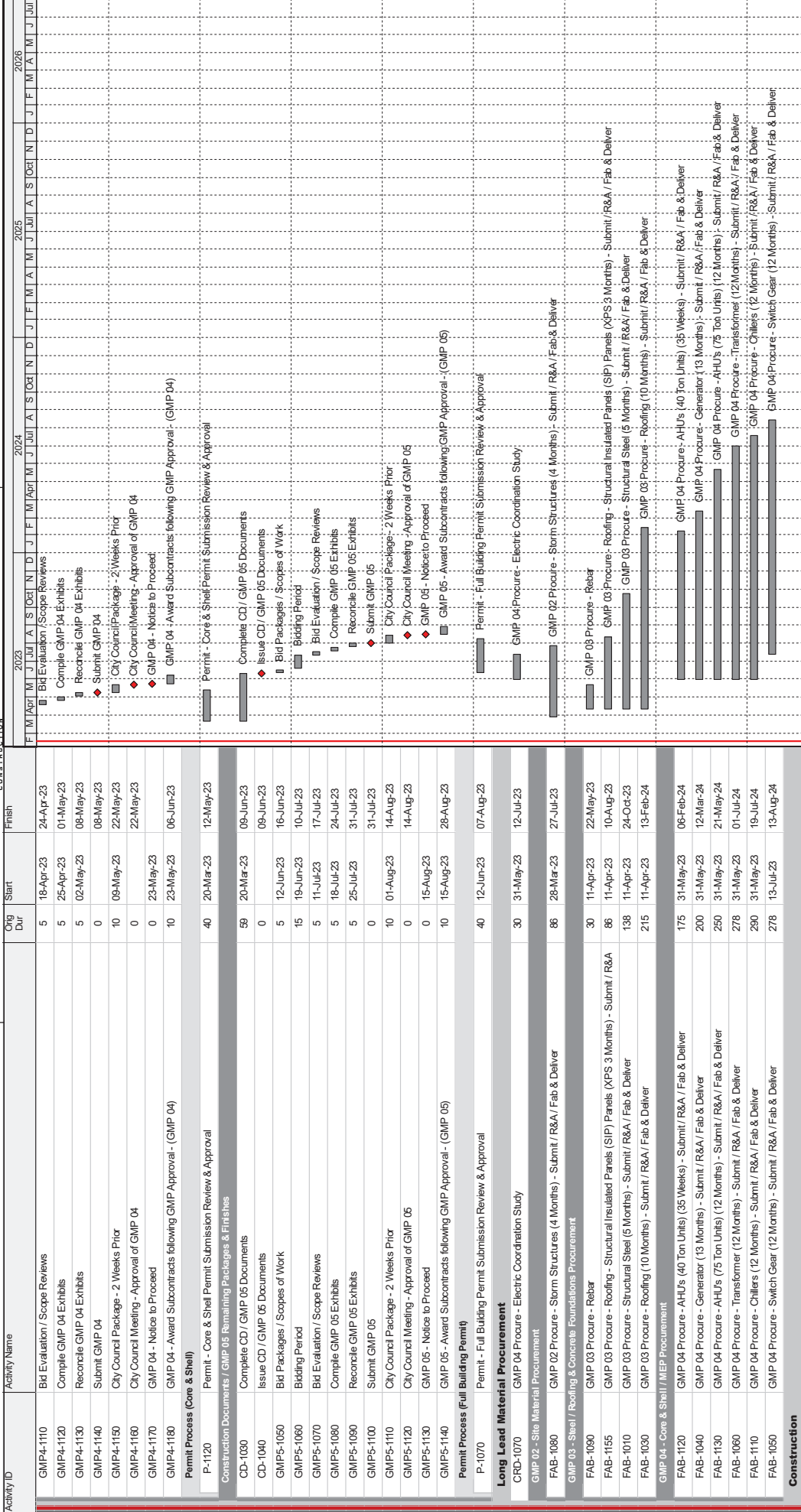


Data Date: 15-Feb-23  
Run Date: 15-Feb-23

## Hilliard Recreation and Wellness Center Exhibit "D" Construction Schedule



# Hilliard Recreation and Wellness Center



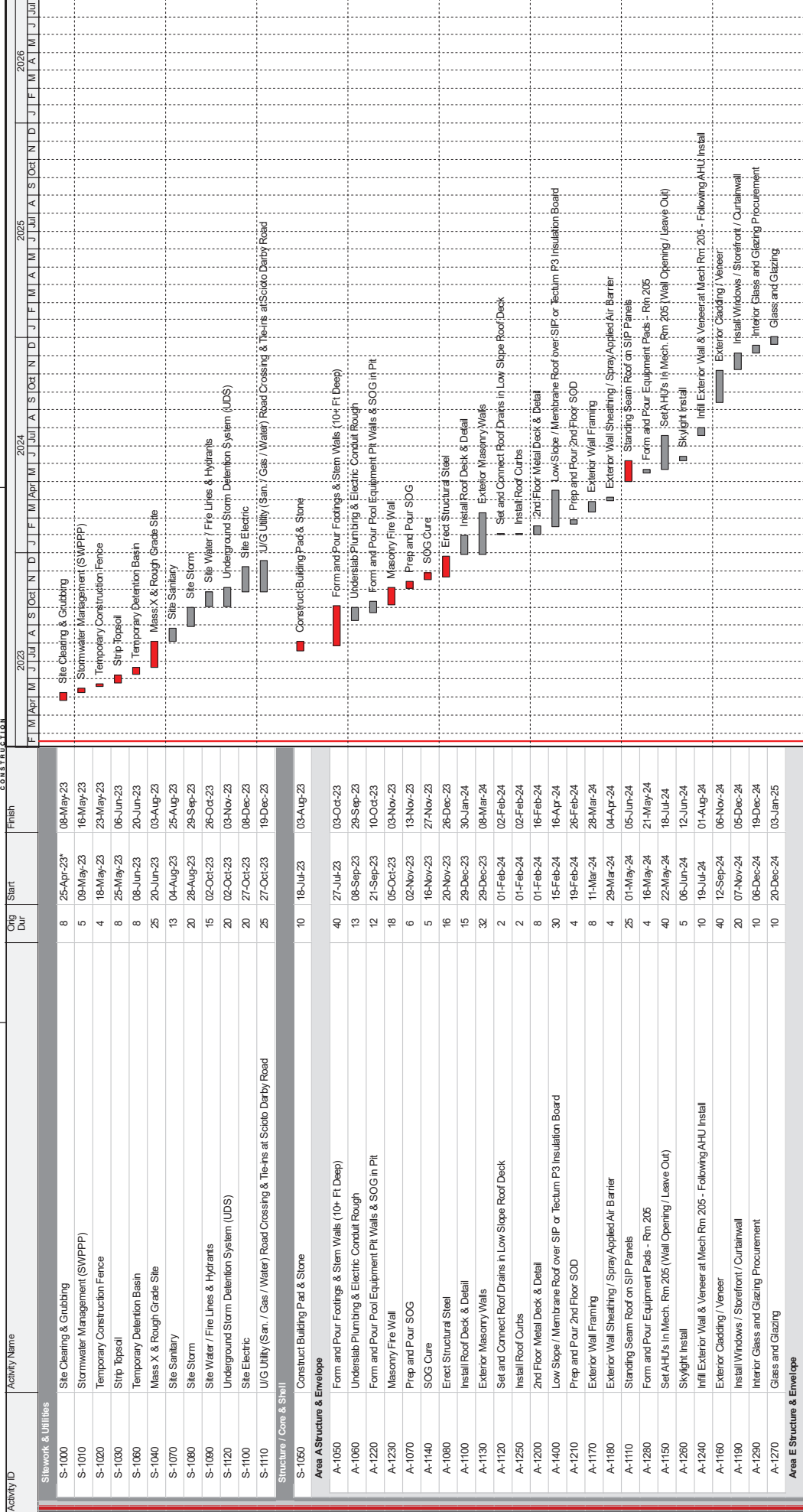
Data Date: 15-Feb-23

Run Date: 15-Feb-23

## Hilliard Recreation and Wellness Center

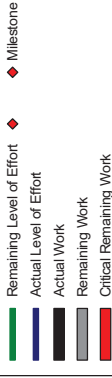
### Exhibit "D" Construction Schedule

# Hilliard Recreation and Wellness Center



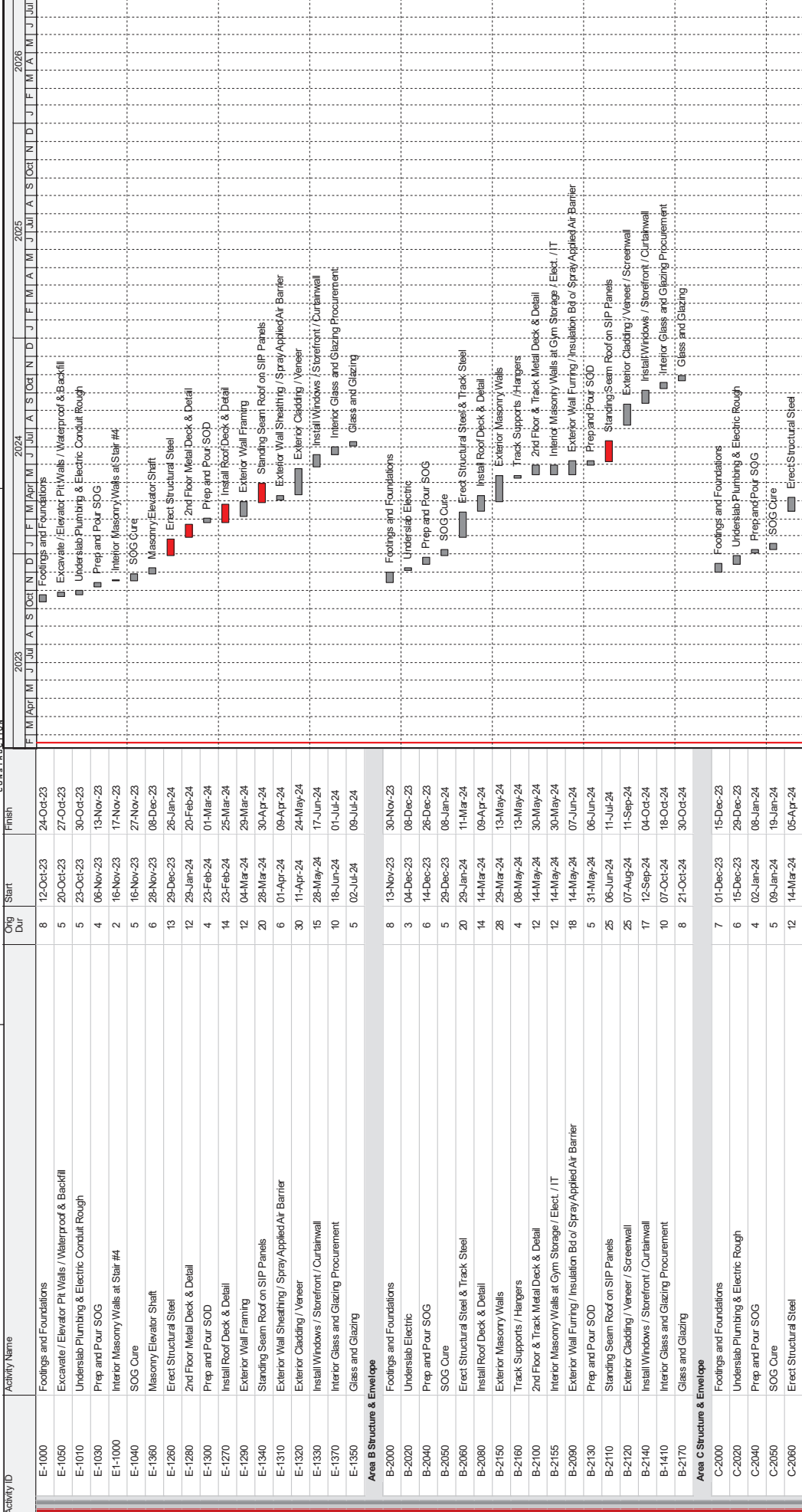
Data Date: 15-Feb-23  
Run Date: 15-Feb-23

## Hilliard Recreation and Wellness Center Exhibit "D" Construction Schedule





Hilliard Recreation and Wellness Center



Data Date: 15-Feb-23

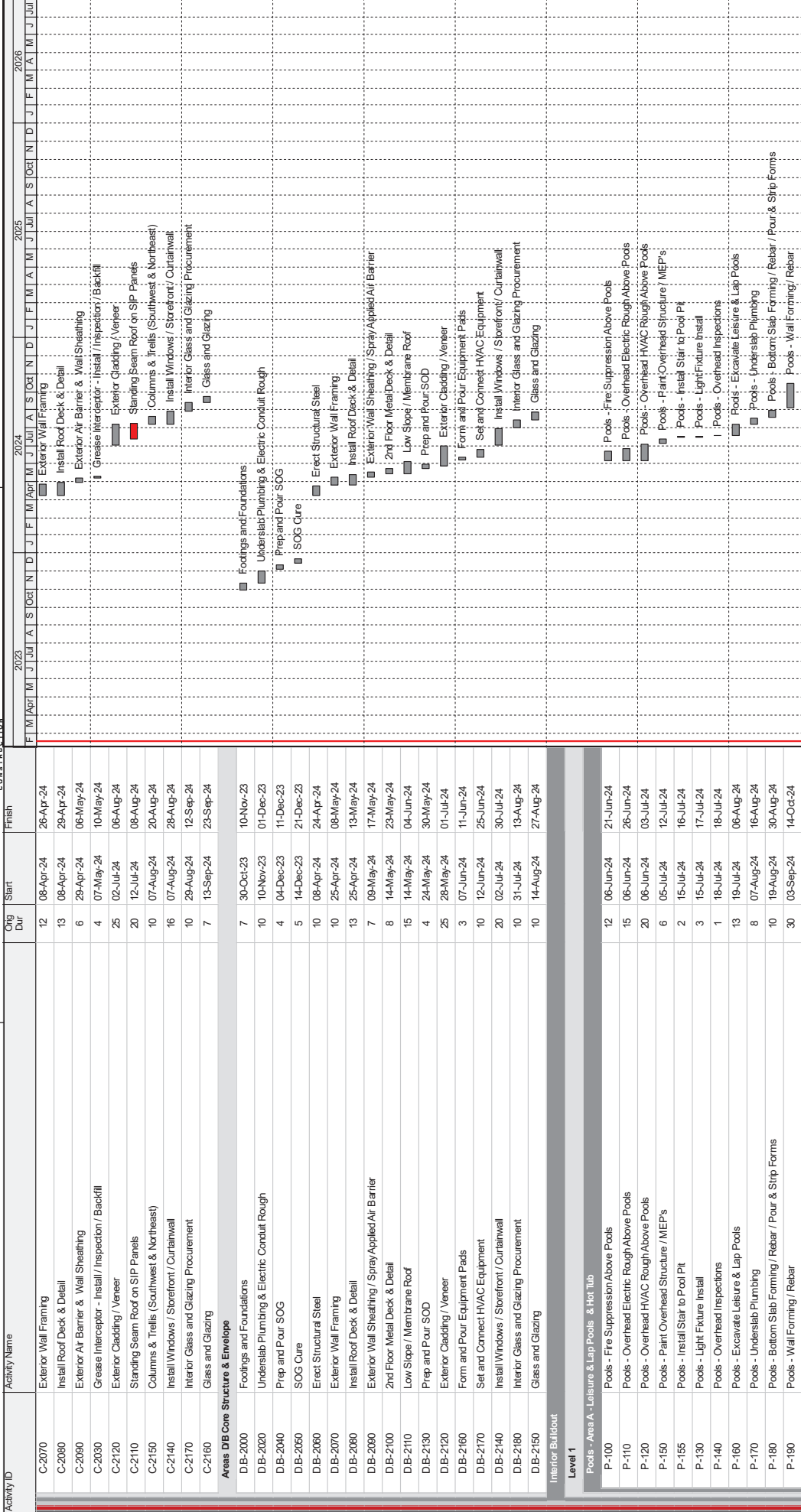
Run Date: 15-Feb-23

Hilliard Recreation and Wellness Center

Exhibit "D"  
Construction Schedule



# Hilliard Recreation and Wellness Center



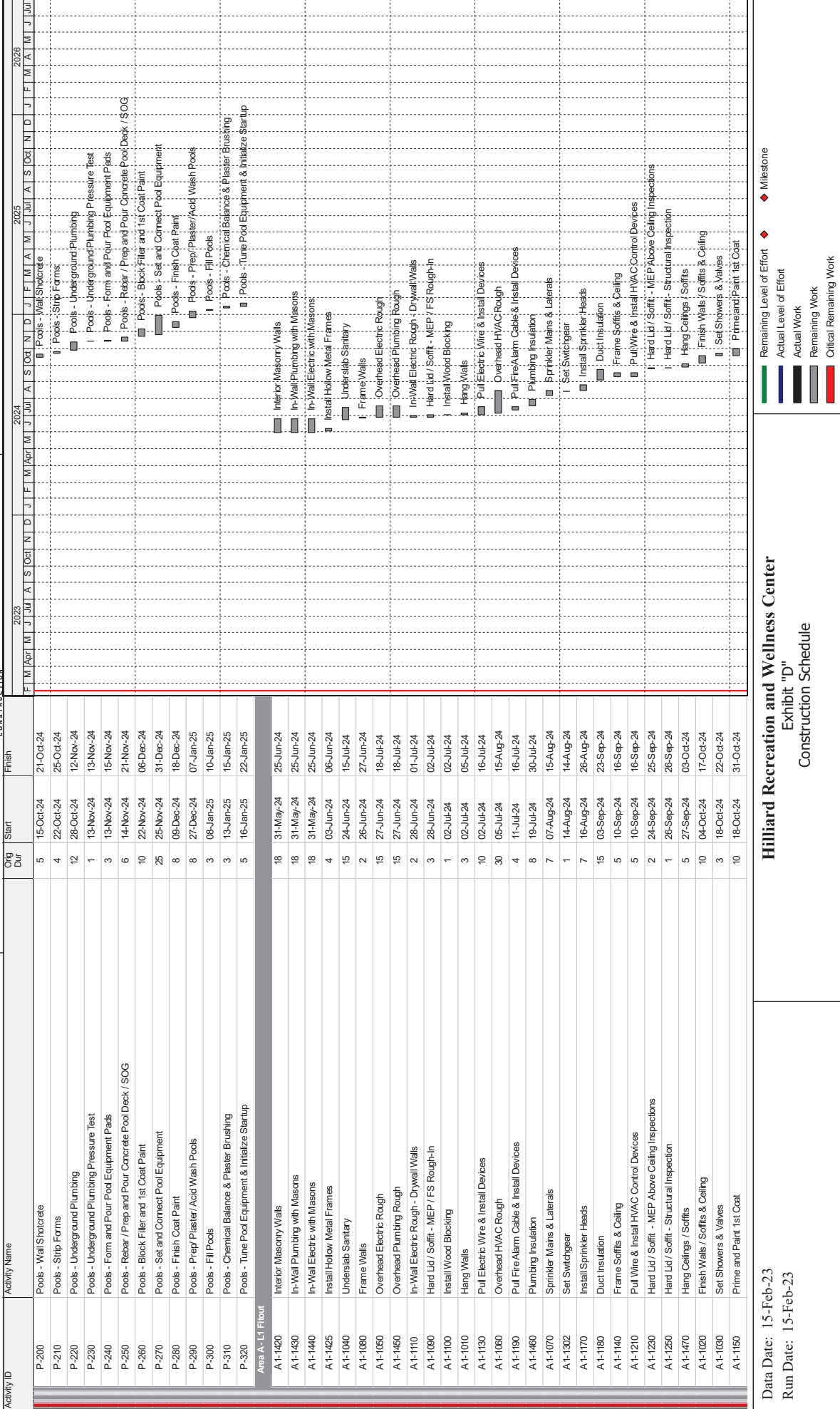
Data Date: 15-Feb-23

Run Date: 15-Feb-23

## Hilliard Recreation and Wellness Center

### Exhibit "D" Construction Schedule

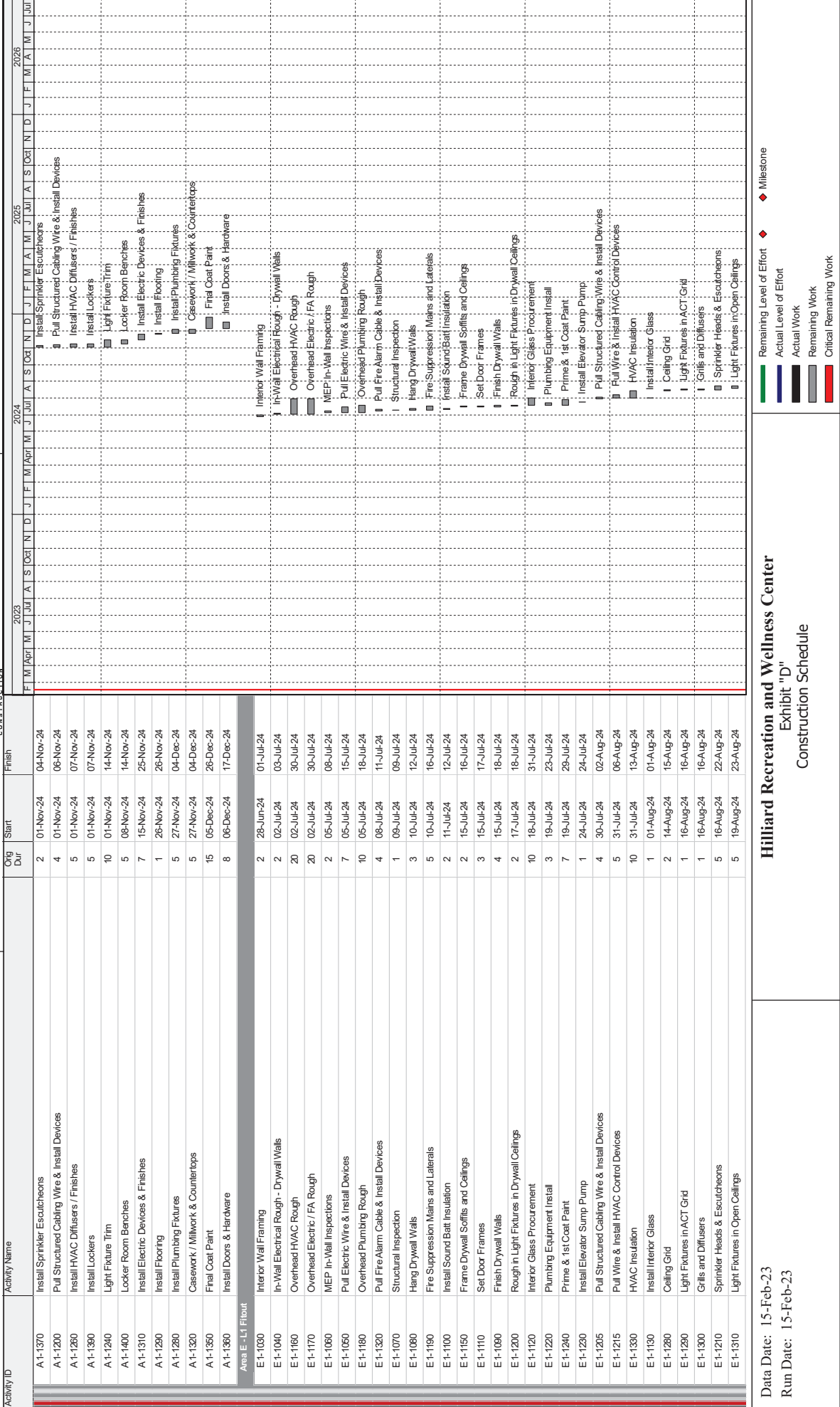
# Hilliard Recreation and Wellness Center



Data Date: 15-Feb-23  
Run Date: 15-Feb-23

## Hilliard Recreation and Wellness Center Exhibit "D" Construction Schedule

# Hilliard Recreation and Wellness Center



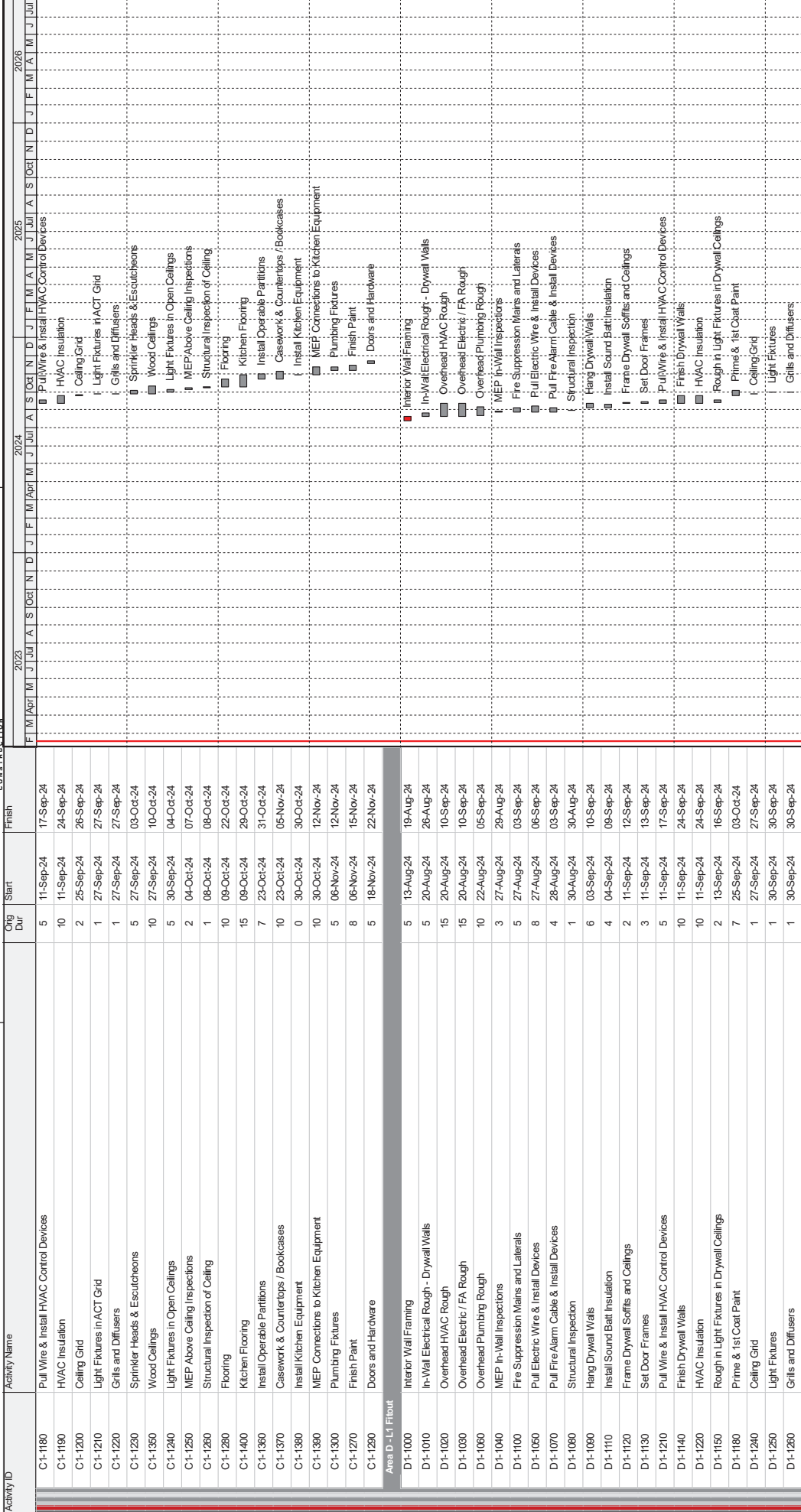
Data Date: 15-Feb-23  
Run Date: 15-Feb-23

## Hilliard Recreation and Wellness Center Exhibit "D" Construction Schedule





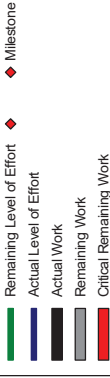
# Hilliard Recreation and Wellness Center



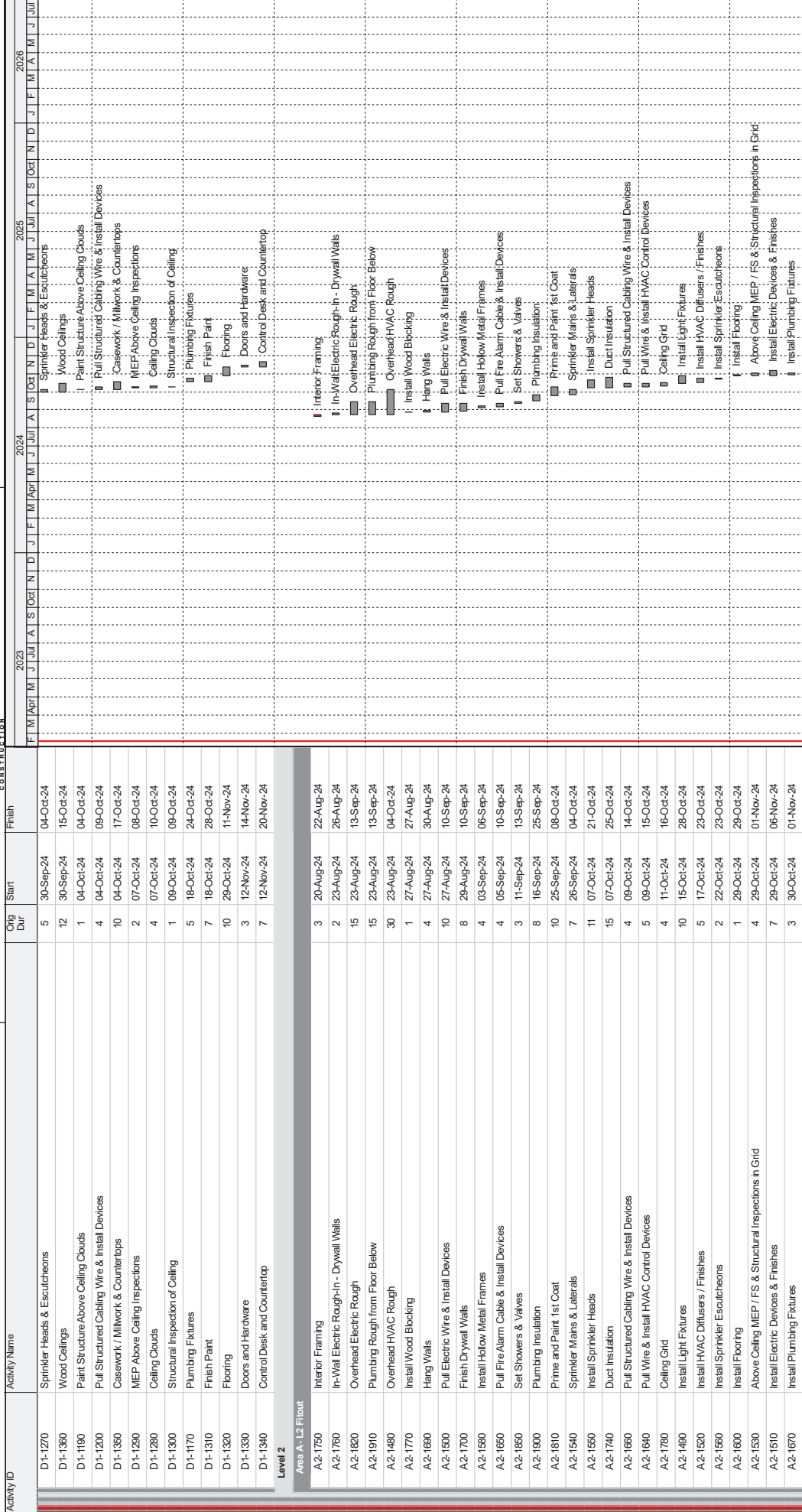
Data Date: 15-Feb-23

Run Date: 15-Feb-23

## Hilliard Recreation and Wellness Center Exhibit "D" Construction Schedule



# Hilliard Recreation and Wellness Center



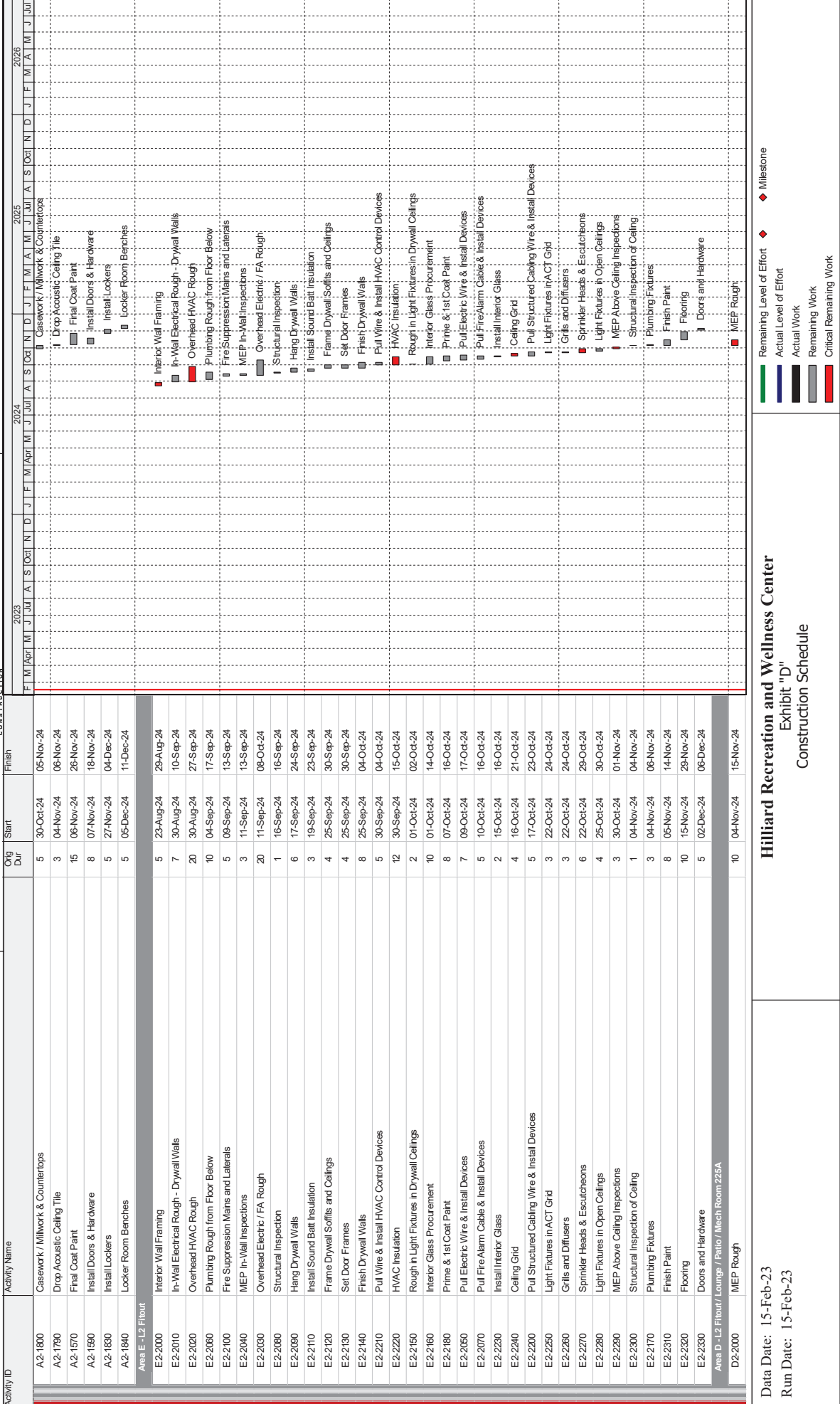
Data Date: 15-Feb-23

Run Date: 15-Feb-23

## Hilliard Recreation and Wellness Center Exhibit "D" Construction Schedule



Hilliard Recreation and Wellness Center

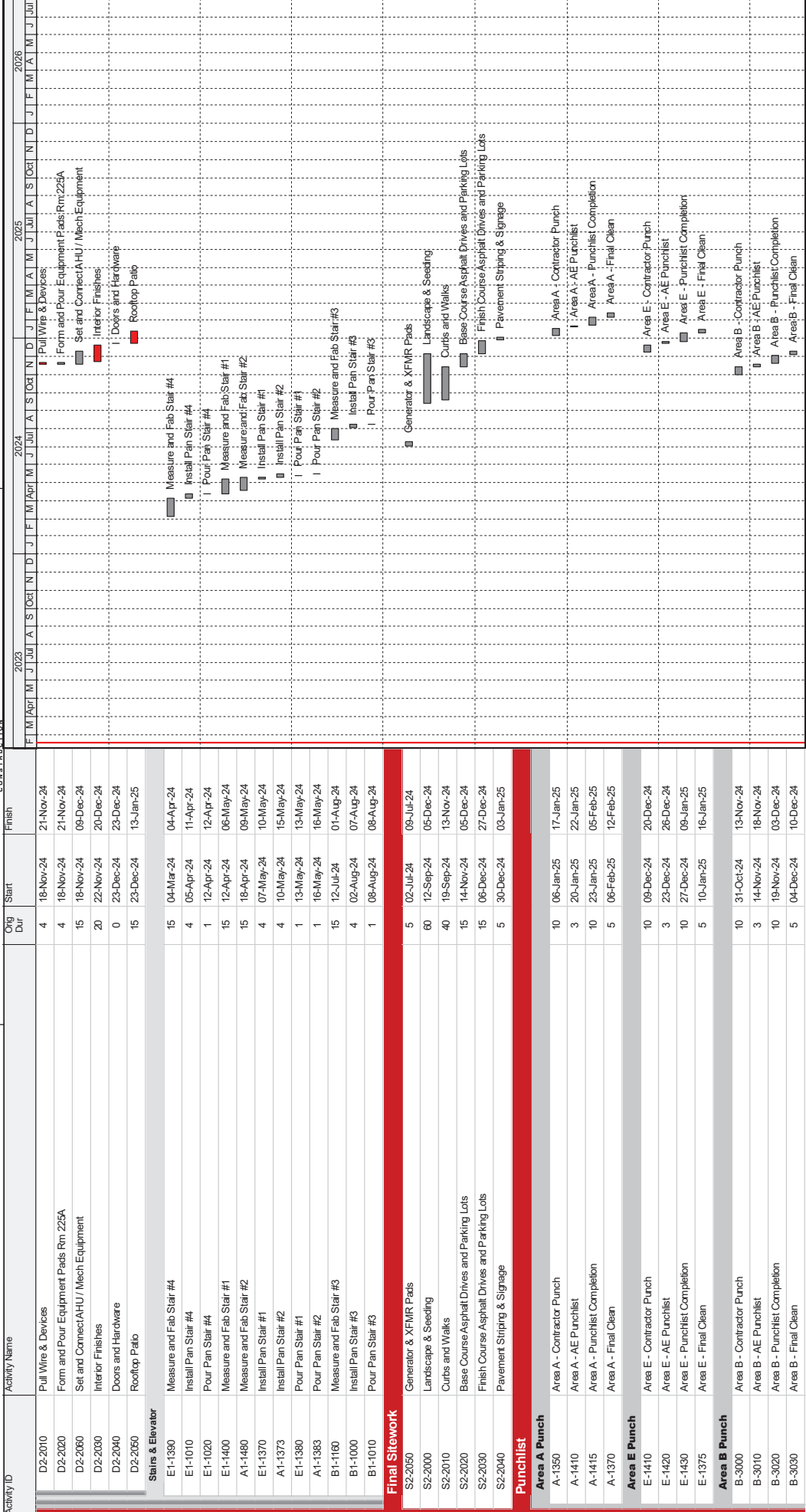


Data Date: 15-Feb-23  
Run Date: 15-Feb-23

Hilliard Recreation and Wellness Center  
Exhibit "D"  
Construction Schedule

- Remaining Level of Effort
- Actual Work
- Remaining Work
- Critical Remaining Work
- Milestone

Hilliard Recreation and Wellness Center



Data Date: 15-Feb-23

Run Date: 15-Feb-23

Hilliard Recreation and Wellness Center  
Exhibit "D"  
Construction Schedule







**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#300R - BUILDING CONCRETE**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the **Building Concrete** work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#300R - BUILDING CONCRETE**

---

- storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.
- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#300R - BUILDING CONCRETE**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**Recreation and Wellness Building Concrete**

**Specifications: All Div 00, 01 (see Hilliard Athletic Complex Site Improvement for additional Div 00 and 01), 03 30 00, 07 92 00**

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.
2. Provide all material, equipment, supervision, and labor to perform the **Building Concrete** complete in every respect with the following clarifications:

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#300R - BUILDING CONCRETE**

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3. Provide all cleanup daily for your work including street cleaning and/or street sweeping of all streets free of site construction debris while onsite.
4. Prior to the start of work, the Subcontractor shall be responsible to spot verify the existing site grades to re-verify existing contours.
5. Subcontractor shall be responsible to notify Superintendent of any existing site adverse site conditions.
6. A copy of the soil report is included with this package, and all work of this item shall be completed in strict conformance with the soils report, and standard practices in the area that may exceed the requirements of the soil report.
7. Excavation of all footings, grade beams, and foundation wall systems is responsibility of this contractor.
8. Interior backfill of footings and foundation systems is responsibility of this contractor.
9. Layout for your work. Building corners provided by others.
10. Furnish and install all rebar per plans and specifications for structural concrete. Furnish and install dowels in concrete foundations for masonry walls.
11. Includes furnish and install of all building structural concrete systems including but not limited to grade beams, step footings, matt foundations, column piers, column footings, stem wall, foundation wall systems, etc. for a complete structural concrete package.
12. Set anchor bolts supplied by others. All anchor bolts to be templated and poured in place. No wet setting of anchor bolts allowed.
13. Grout base plates.
14. Excavate, form, and pour elevator pit footings, walls, and slab per contract documents.
15. Excess spoils from structural concrete to be hauled outside of building footprint and stockpiled. Location of stockpile to be coordinated with Ruscilli (CMR).
16. Form and pour building slab on grade and elevated slab on metal deck per plans and specifications.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#300R - BUILDING CONCRETE**

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17. Site grading contractor is to provide 4" of gravel at building pad area. This contractor responsible for furnish and install of remaining building pad gravel and final dressing of gravel for building pads.
18. *Assume there will be polished concrete finish in corridors, hallways, lobbies, and community spaces. These areas will have specific construction and contraction (control) joint patterns to be issued later and detailed on the required slab shop drawing. Do not proceed with work without an issued drawing from the Architect. (Addendum #2)*
19. *Assume there will be recessed slabs in several areas to accommodate level flooring transitions between sports flooring, tile, walk off mats and etc. Detail is representing this is 7/S0.4. (Addendum #2)*
20. *The pool subcontractor will be responsible for the work within the outline of the "Lap Pool by Others" and "Leisure Pool by Others). Concrete slab on grade to that line is included in this subcontract. Assume there will be tie into the pool or pool drain within 3 feet of this line. Coordinate all slopes and finish with final architectural, structural and pool designer details and shop drawings. (Addendum #2)*
21. *Coordinate all curing and finishes with final floor finish with the final floor finish through the CMR. (Addendum #2)*
22. *Exterior concrete is not included in this subcontract unless described specifically within these documents. (Addendum #2)*
23. *Provide waterproofing at the elevator pits. Assume it will be similar to 60-mil self-adhering sheet waterproofing system similar a system manufactured by Carlisle or Grace (Addendum #2)*
24. *Coordinate and assist with installation of all MEP sleeves through the concrete work. (Addendum #2)*
25. *Coordinate footing elevations with UG plumbing inverts with the plumber through the CMR prior to installing the work. (Addendum #2).*
26. *Install all embeds furnished by another subcontractor. (Addendum #2)*

ALTERNATES (per drawings / specs)

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#300R - BUILDING CONCRETE**

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**UNIT COST**

- |   |                                   |
|---|-----------------------------------|
| 1. Winter Concrete Additives  | (Submit w/ Bid Form) \$/CY        |
| 2. Hot Water  | (Submit w/ Bid Form) \$/CY        |
| 3. Ice  | (Submit w/ Bid Form) \$/CY        |
| 4. Blanket protection   | (Submit w/ Bid Form) \$/CY        |
| 5. <i>LF of Steel Stair Tread Concrete Fill</i><br><i>(Addendum #2)</i> | <i>(Submit w/ Bid Form) \$/CY</i> |

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#301R - STRUCTURAL STEEL**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the *Structural Steel* work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material



**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#301R - STRUCTURAL STEEL**

---

- storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.
- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#301R - STRUCTURAL STEEL**

---

5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**RECREATION & WELLNESS BUILDING – STRUCTURAL STEEL**

**Specifications: All Div 00, 01 (see Hilliard Athletic Complex Site Improvement for additional Div 00 and 01), 05 12 00, 05 31 00, 05 51 33 and as shown on the drawings. (Addendum #2)**

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#301R - STRUCTURAL STEEL**

---

2. Provide all material, equipment, supervision, and labor to perform the **Structural Steel** complete in every respect with the following clarifications:
3. Provide all cleanup daily for your work including street cleaning and/or street sweeping of all streets free of site construction debris while onsite.
4. Furnish and install all structural steel beams, columns, tube steel, metal roof/floor decking, etc for a complete structural steel system.
5. Furnish masonry lintels to be installed by others. Coordinate with masonry shop drawings to assure proper size.
6. Prime paint finish of structural steel members per contract documents. Coordinate steel primer requirements for painted structure with the Painting subcontractor through the CM.
7. Furnish anchor bolts for column base plates to be installed by others. Assume anchor bolts will be expedited and a separate submittal and delivery will be required.
8. Framing for all mechanical equipment supports.
9. Furnish and install elevator hoist beams.
10. Includes all hoisting equipment and man lifts for your work.
11. Roof and floor steel decking to be by this contractor.
12. *Coordinate all shop primers and areas not requiring primer with CMR throughout the shop drawings and submittal progress and confirm with the painting and CMR prior to shop painting the steel. (Addendum #2)*
13. *Assume there will be BIM coordination with other trades, including but not limited to MEP. (Addendum #2)*
14. *Steel Grating is not included in this subcontract. Assume there will be an edge angle provided by this contractor to received the grating provided by another subcontractor. (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#301R - STRUCTURAL STEEL**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#302R - ROOFING**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the **Roofing** work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment, and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#302R - ROOFING**

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- storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.
- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#302R - ROOFING**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**RECREATION & WELLNESS BUILDING – ROOFING**

**All Div 00, 01 (see Hilliard Athletic Complex Site Improvement for additional Div 00 and 01), 07 05 00, 07 41 13.13, 07 53 23, 07 62, 00, 07 71 00, 07 72 00, 07 72 53, 07 92 00, 08 63 19.**

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.



**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Hilliard Recreation & Wellness Center – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#302R - ROOFING**

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2. Provide all material, equipment, supervision, and labor to perform the **Roofing** complete in every respect with the following clarifications:
3. Provide all Standing-seem roofing complete.
4. Provide complete EPDM mechanically fastened roofing systems including rigid insulation, flashings, termination bars, joint sealants, gravel stops, substrate boards, cover boards, vapor barriers, etc. for a complete roofing system per plans and specifications.
5. Provide all caulking, flashing and trim as related the roofing work in bid package to provide a complete system.
6. Furnish and install all required flashings for roof penetrations by other contractors.
7. Temporary protection and enclosure of the roof during installation shall be done daily to assure a weather tightness and protect the roofing system.
8. Provide complete all copings.
9. Provide complete all roof specialties, roof accessories, and snow guards as required.
10. Provide cleanup daily for your work.
11. Provide a full time working superintendent.
12. *Provide mineral wool insulation and spray foam shown at locations, like the expansion joint Detail 12/A5.7 and areas that are best accessed while the roofing is being installed. (Addendum #2)*
13. *Provide all work related to this subcontractor's scope of work to prepare the mockup(s) as described within the documents. (Addendum #2)*

**ALTERNATES** *(per drawings / specs)*

**UNIT COST** *(per drawings / specs)*

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#303F – SITE & BUILDING CONCRETE**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the *Building and Site Concrete* work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX – (Addendum #2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#303F – SITE & BUILDING CONCRETE**

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storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum #2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#303F – SITE & BUILDING CONCRETE**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC COMPLEX – SITE & BUILDING CONCRETE**

**Specifications: All Div 00, 01, 03 30 00, 07 92 00, 03 20 00, 03 30 00, 32 11 23, 31 23 17, 32 13 13**

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.
2. Provide all material, equipment, supervision, and labor to perform the **Building and Site Concrete** complete in every respect with the following clarifications:

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
***ATHLETIC COMPLEX – (Addendum #2)***

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#303F – SITE & BUILDING CONCRETE**

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3. Provide all cleanup daily for your work including street cleaning and/or street sweeping of all streets free of site construction debris while onsite.
4. Prior to the start of work, the Subcontractor shall be responsible to spot verify the existing site grades to re-verify existing contours.
5. Subcontractor shall be responsible to notify Superintendent of any existing site adverse site conditions.
6. A copy of the soil report is included with this package, and all work of this item shall be completed in strict conformance with the soils report, and standard practices in the area that may exceed the requirements of the soil report.
7. Excavation of all footings, grade beams, and foundation wall systems is responsibility of this contractor.
8. Interior backfill of footings is responsibility of this contractor.
9. Layout for your work. Building corners provided by others.
10. Furnish and install all rebar per plans and specifications for structural concrete. Furnish and install dowels in concrete foundations for masonry walls.
11. Includes furnish and install of all building structural concrete systems including but not limited to grade beams, step footings, column piers, column footings, etc. for a complete structural concrete package.
12. Set anchor bolts supplied by others. All anchor bolts to be templated and poured in place. No wet setting of anchor bolts allowed.
13. Excess spoils from structural concrete to be hauled outside of building footprint and stockpiled. Location of stockpile to be coordinated with Ruscilli.
14. Includes building slab on grade with all reinforcing bar and vapor barrier.
15. Includes fine grading for your work.
16. Site concrete sidewalks and gravel per plans and specification.
17. Heavy duty concrete paving and aggregate base included under this scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum #2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#303F – SITE & BUILDING CONCRETE**

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18. Final dressing of building slab on grade aggregate to be by this subcontractor.
19. Furnish and install all concrete curbs per plans and specifications. Backfill of curbs to be by others.
20. Includes excavation, setting, and pouring of steel bollards. Steel bollards to be supplied by this contractor.
21. Sidewalk, paving, and slab on grade joint caulking to be included under this scope of work.
22. ~~Excavate and pour concrete curb at synthetic turf fields per plans and specifications. (Addendum #2)~~
23. *Provide caulking of all concrete joints and where concrete abuts work by others as shown on the contract drawings. (Addendum #2)*
24. *The Turf Perimeter Concrete Curb (detail 2/PF3.01 and 3/PF3.01) will be provided by the synthetic turf subcontractor. Coordinate with subcontractor providing the fencing work shown in detail 3. (Addendum #2)*

**ALTERNATES**

**A.) Pavilion Future Concession Area**

**UNIT COST**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#304F - MASONRY**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the *Masonry* work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material



**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX – (Addendum 2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#304F - MASONRY**

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storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#304F - MASONRY**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC COMPLEX MASONRY**

***Specifications: All Div 00, 01, 04 72 00, 07 19 00, 07 21 00, 07 27 26, 07 92 00,***  
***(Addendum 2)***

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
***ATHLETIC COMPLEX – (Addendum 2)***

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#304F - MASONRY**

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2. Provide all material, equipment, supervision, and labor to perform the *Masonry* complete in every respect with the following clarifications:
3. Provide all cleanup daily for your work.
4. Furnish and install all CMU, flashings, weeps, reinforcing bars, etc. for a complete masonry system per plans and specifications.
5. Cultured cast stone at CMU walls and column piers to be by this contractor
6. Includes all reinforcing and grouting of CMU for your work.
7. Install metal door frames in masonry walls.
8. Air/water barrier on masonry walls to be furnished and installed by this contractor.
9. This contractor to include furnish and install of rigid insulation on masonry walls per plans and specifications.
10. Includes all caulking of control joints and all cast stone masonry joints to be caulked.

**ALTERNATES (as per drawings and specifications)**

**UNIT COSTS (as per drawings and specifications)**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#306F - CARPENTRY**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the **Carpentry** work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#306F - CARPENTRY**

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storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#306F - CARPENTRY**

---

5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC COMPLEX CARPENTRY**

*Specifications: All Div 00, 01, 06 10 00, 06 13 00, 06 16 00, 06 17 53, 07 14 16, 07 21 00, 07 27 26, 07 46 46, 07 92 00, 08 11 13, 08 71 00, 08 11 13, 10 21 13.17 (Addendum 2)*

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
***ATHLETIC COMPLEX – (Addendum 2)***

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#306F - CARPENTRY**

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2. Provide all material, equipment, supervision, and labor to perform the **Carpentry** complete in every respect with the following clarifications:
3. Provide all cleanup daily for your work to dumpsters provided by others.
4. Furnish and install pre-engineered wood trusses and framing, heavy timber columns, heavy timber trusses, blocking, top plates ledger boards, roof sheathing, exterior wall sheathing, fascia boards, etc. for a complete wood framed carpentry system.
5. This subcontractor to include all accessories associated with a complete rough carpentry package, including but not limited to fasteners, Simpson hardware, etc.
6. Furnish and install metal stud framing and drywall at plumbing chases as shown in the contract documents.
7. Includes metal stud ceiling framing and drywall per plans and specifications.
8. All drywall finishing to be by this contractor.
9. Acoustical ceilings as shown in contract documents.
10. Furnish and install division 10 specialties including but not limited to toilet accessories (i.e. grab bars, TP dispensers, baby changing stations etc.), toilet partitions,
11. Includes furnish and install of fiber cement siding including all flashings, furring, fascia board, caulking, and accessories for a complete siding system installation.
12. Provide all painting of interior and exterior items, including but not limited to paint, ceilings, door frames, HM doors, seal/stain heavy timbers, siding, bollards, fencing and etc.
13. Batt insulation to be furnish and installed by this contractor per the plans and specifications.
14. Furnish and install rigid insulation behind all fiber cement siding per the contract documents.
15. Includes painting and staining of dumpster enclosure fence, 4-rail fence system, and



**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX – (Addendum 2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#306F - CARPENTRY**

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16. Polished and sealed concrete floors as noted on the contract documents to be by this contractor.
17. Floor base to be furnish and installed per plans and specifications.
18. Floor protection to be by this contractor.
19. Furnish and install all hollow metal doors, frames, and hardware per contract documents.
20. *Provide wood framing for Roofing and wall mock up per the related spec sections (Adden 2).*

**1.3 ALTERNATE**

- A.) Future Concession Area of Athletic Complex Building – Provide alternate for future concession area of building as shown including drywall/framing, paint, flooring, doors, siding, sliding window system, walk up counter, insulation, division 10 specialties, and rough carpentry items.**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#307F - ROOFING**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the **Roofing** work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX – (Addendum 2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#307F - ROOFING**

---

storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#307F - ROOFING**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC COMPLEX ROOFING**

*Specifications: All Div 00, 01, 07 41 13.1621 00, 07 27 26, 07 92 00,*  
*(Addendum 2)*

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX – (Addendum 2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#307F - ROOFING**

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2. Provide all material, equipment, supervision, and labor to perform the **Roofing** complete in every respect with the following clarifications:
3. Provide all cleanup daily for your work to dumpster provided by others.
4. Furnish and install standing seam metal roof system including but not limited to standing seam metal roofing, ice and water shield, drip edge, rubberized asphalt underlayment, and all misc accessories required for a complete roof system installation.
5. Furnish and install gutters and downspouts per plans and specifications.
6. Includes all hoisting and man lifts for your work.

**ALTERNATES (per the documents)**

**UNIT COSTS (per the documents)**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - PLUMBING**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the *Plumbing* work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - PLUMBING**

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storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - PLUMBING**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC FIELD COMPLEX - PLUMBING**

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.
2. Provide all material, equipment, supervision, and labor to perform the **Plumbing** complete in every respect with the following clarifications:
3. Provide all cleanup daily for your work to dumpster provided by others.



**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - PLUMBING**

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4. Site utility contractor to bring storm and sanitary systems to within 5' of building. Final connection and tie in of building system to mains is to be by this contractor. This contractor is to furnish and install any required sleeves for their work through concrete foundation systems.
5. Domestic water system to be installed by this contractor from location stubbed into building by site utility contractor.
6. Provide all layout and surveying for your work.
7. Includes all pipe insulation as required for your work per the contract documents.
8. Furnish and install all plumbing fixtures including but not limited to sinks, drinking fountains, toilets, faucets, mop sinks, etc as shown on the contract documents.
9. Provide all excavation for your work. Excess spoils to be hauled outside of building footprint to location designated by Ruscilli and earthwork contractor.
10. Provide all structural stone backfill and compaction for your excavation of underground plumbing in hard surface areas such as concrete slab on grade and foundations.
11. Provide complete all coordination with Concrete Contractor for all floor drain elevations.
12. Includes all piping, fittings, insulation, floor drains, cleanouts, valves, etc as required for complete water and sanitary systems as shown on the contract documents.
13. Furnish and install hot water heater per plans and specifications. Include concrete housekeeping pad as shown on contract documents.
14. Non-freeze wall hydrants to be per contract documents.
15. Subcontractor shall be responsible to notify Superintendent of any existing site items that are cut or destroyed during the excavation operation.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - PLUMBING**

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**ALTERNATES**

- 1. P1 -ATHLETIC COMPLEX FUTURE CONCESSION – Provide labor and material for all plumbing scope of work at the Alt P1 future concession expansion area.**

**UNIT COST**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - HVAC**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the *HVAC* work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - HVAC**

---

storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - HVAC**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC FIELD COMPLEX - HVAC**

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.
2. Provide all material, equipment, supervision, and labor to perform the **HVAC** complete in every respect with the following clarifications:
3. Provide all cleanup daily for your work to dumpster provided by others.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - HVAC**

---

4. Furnish and install HVAC system including but not limited to duct, hangars, fittings, grilles, diffusers, insulation, etc. for a complete system installation per plans and specifications.
5. Furnish and install electric unit heaters. Final connection to be by electrician.
6. Provide exhaust fans per plans and specifications.
7. Furnish and install louvers per plans and specifications. Coordinate sizing with other trades.
8. Includes any firestopping or fire-caulking for your work.
9. Ductless split system and all associated piping, fittings, evaporator, condensing units, roof curb/stand, etc. for a complete system installation per plans and specifications.
10. Provide all temperature controls for the HVAC systems.

**UNIT COST**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Fields Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - ELECTRICAL SYSTEMS**

---

This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the *Electrical System* work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Fields Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - ELECTRICAL SYSTEMS**

---

storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.



**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Fields Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - ELECTRICAL SYSTEMS**

---

5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC FIELD COMPLEX – ELECTRICAL SYSTEM**

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.
2. Provide all material, equipment, supervision, and labor to perform the **Electrical Systems** complete in every respect with the following clarifications:
3. Provide daily cleanup for your work to dumpster provided by others.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Fields Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - ELECTRICAL SYSTEMS**

---

4. Prior to the start of work, the Subcontractor shall be responsible to spot verify the existing site grades to re-verify existing contours.
5. Subcontractor shall be responsible to notify Superintendent of any existing site items that are cut or destroyed during the excavation operation.
6. Provide and install all building electrical system to include permits, meter settings, panels, disconnects, wiring, cables, light fixtures, receptacles, devices, switches, fasteners, conduit, raceways and transformer pads.
7. Provide all HVAC and Plumbing equipment power connections per plans and specifications.
8. Includes excavation for your work. Spoils to be hauled to designated location as coordinated with site contractor.
9. Backfill of trenches included for your work. Structural aggregate backfill required at any areas under paving, foundation systems, or slab on grades.
10. Furnish and install all site pole lighting, conduits, hand holes, pull boxes, feeders, etc. for a complete installation per plans and specifications.
11. Excavate and pour site light pole bases for your work.
12. Provide power and disconnects for new water line system hot boxes as shown on plans.
13. Provide power for irrigation system booster pump.
14. Furnish and install (2) 5" conduits from utility pole to new pad mount transformer per plans.
15. Includes temporary construction power and lighting for the jobsite.
16. Provide temporary power to Ruscilli job trailer.
17. Site electrical package including but not limited to conduits, controls, hand holes, cabling/wiring, pull boxes, outdoor power pedestals, receptacles.
18. Provide empty conduits for data cabling,
19. Furnish and install all lighting control systems per contract documents.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Fields Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - ELECTRICAL SYSTEMS**

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- 20. Power and receptacles to pavilions as shown on contract documents.
- 21. Power for sports lighting system per plans and specifications.
- 22. Includes furnish and install of fire rated plywood for your work.
- 23. Includes firestopping and/or fire caulking at all rated penetrations.
- 24. Provide rough in for all low voltage AV and Technology systems.
- 25. Provide all site underground electric and telecommunications conduits as shown on the utility plans. Includes all excavation, backfill, concrete encasement, conduit, etc.

**ALTERNATES**

**A.) Alternate E1 Pavilion Future Concession – Provide alternate for full electrical systems and lighting at the Future Concessions area.**

**UNIT COST**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - SPORTS LIGHTING**

---

This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the *Sports Lighting* work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - SPORTS LIGHTING**

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storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - SPORTS LIGHTING**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC FIELD COMPLEX – SPORTS LIGHTING**

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.
2. Provide all material, equipment, supervision, and labor to perform the **Sports Lighting** complete in every respect with the following clarifications:
3. Provide all cleanup daily for your work including street cleaning and/or street sweeping of all streets free of site construction debris while onsite.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*Athletic Field Complex*

**EXHIBIT "A"**  
**SCOPE OF WORK - SPORTS LIGHTING**

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4. Repair of finished areas damaged by this contractor during their work.

**ALTERNATES**

**UNIT COST**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX (Adden 2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#313F - ASPHALT PAVING**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the *Asphalt Paving* work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material



**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX (Adden 2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#313F - ASPHALT PAVING**

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storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX (Adden 2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#313F - ASPHALT PAVING**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC FIELD COMPLEX – ASPHALT PAVING**

*Specifications: All Div 00, 01, 32 11 23, 32 12 16, 32 17 23, (Addendum 2)*

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.
2. Provide all material, equipment, supervision, and labor to perform the **Asphalt Paving** complete in every respect with the following clarifications:

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
***ATHLETIC COMPLEX (Adden 2)***

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#313F - ASPHALT PAVING**

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3. Provide all cleanup daily for your work including street cleaning and/or street sweeping of all streets free of site construction debris while onsite.
4. Proof roll of existing stone base placed by others.
5. Furnish and install 2" aggregate base for to complete base profile and to fine grade all asphalt pavement areas.
6. Provide concrete parking blocks
7. Parking lot striping as shown on contract documents.
8. Prior to turn over provide (1) cleaning of all asphalt areas.
9. Provide heavy duty and light duty asphalt paving for parking areas, drive lanes, and loop road per profiles noted on contract documents.
10. Provide all asphalt paving, aggregate base, and fine grading for new Regional Trail per detail on L5.01 and as shown on the plans and specifications.
11. Includes (2) mobilizations for aggregate install and (2) mobilizations for asphalt installation of parking lot areas. Provide two (2) mobilizations for Regional Trail paving and aggregate.
12. Provide the tack coat, per the specifications.
13. Apply bituminous prime coat per plans and specifications.
14. Furnish and install all parking lot signs and post as noted on plans.
15. Apply joint seal at new to existing asphalt transitions.

**ALTERNATES**

**UNIT COST**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#314F - LANDSCAPING & SITE AMENITIES**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the *Landscaping & Site Amenities* work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX – (Addendum 2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#314F - LANDSCAPING & SITE AMENITIES**

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storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#314F - LANDSCAPING & SITE AMENITIES**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC FIELD COMPLEX – LANDSCAPING & SITE AMENITIES**

*Specifications: All Div 00, 01, 32 33 00, 32 84 00, 32 91 13, 32 92 00, 32 93 00,  
(Addendum 2)*

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#314F - LANDSCAPING & SITE AMENITIES**

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2. Provide all material, equipment, supervision, and labor to perform the *Landscaping & Site Amenities* complete in every respect with the following clarifications:
3. Provide all cleanup daily for your work including street cleaning and/or street sweeping of all streets for debris generated by this subcontractor.
4. Provide all trees, plantings, shrubs, grasses, and ground as shown on the landscape drawings.
5. Provide all seeding as shown on the Landscape Drawings, including preparation of all grassy areas with a rockhound (landscape rake)
6. Includes preparation and fine grading of all turf areas with exception to the turf fields.
7. Provide all planting bed preparations with planting soil mixes as shown on the contract documents. Includes topsoil for planting areas as shown.
8. Provide temporary staking and watering of all trees, plantings, and turf areas for work under this subcontract.
9. Furnish and install hardwood mulch at all planting beds, trees, shrubs
10. Provide irrigation system including but not limited to rotary heads, drip lines, booster pump, controls, control valves, piping, control wiring, rain sensor, back flow preventer, water meter, valve boxes, grounding, etc. for a complete irrigation system per the contract documents.
11. Furnish and install sleeving for irrigation system.
12. Includes all excavation for planting beds, plantings, trees, and shrubs per plans.
13. Furnish and install all site amenities including bike racks, soccer ball bollard, picnic tables, benches, and trash receptacles per plans and specifications.
14. Furnish and install all bioswale plantings and seed mix per plans and specifications.

**ALTERNATES**

- A.) Alternate Fields Area –Provide all landscaping and full irrigation system at alternate fields noted on plans.**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#315F - FENCING**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the **Fencing** work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material



**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#315F - FENCING**

---

storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#315F - FENCING**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC FIELD COMPLEX – FENCING**

*Specifications: All Div 00, 01, 03 30 00, 06 13 00, (Addendum 2)*

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.
2. Provide all material, equipment, supervision, and labor to perform the **Fencing** complete in every respect with the following clarifications:

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
***ATHLETIC COMPLEX – (Addendum 2)***

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#315F - FENCING**

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3. Provide all cleanup daily for your work.
4. Furnish and install dumpster enclosure fence including all cedar pickets, post, gates, gate hardware, and concrete foundations for fence post per plans and specifications.
5. Includes excavation for your work.
6. Spoils to be hauled off or spread onsite at location designated by Ruscilli.
7. Furnish and install 4-rail wood fence system per plans and specifications. See details on L5.03.
8. Furnish and install aluminum coated wire fabric fence system at synthetic turf fields per detail on PF3.01. Includes all post, gates, gate hardware, caps, rails, and aluminum coated wire fabric for a complete fence system. Coordinate fence post layout and installation with concrete curb contractor.
9. *Furnish and install complete the dumpster enclosure including the gate and gate posts. (Addendum 2)*
10. *Coordinate sleeves and inserts with other subcontractors as required. (Addendum 2)*

**ALTERNATES**

**UNIT COST**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#316F - NETTING SYSTEMS**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the *Netting Systems* work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX – (Addendum 2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#316F - NETTING SYSTEMS**

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storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
**ATHLETIC COMPLEX – (Addendum 2)**

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#316F - NETTING SYSTEMS**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC FIELD COMPLEX – NETTING SYSTEMS**

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.
2. Provide all material, equipment, supervision, and labor to perform the **Netting Systems** complete in every respect with the following clarifications:
3. Provide all cleanup daily for your work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX – (Addendum 2)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#316F - NETTING SYSTEMS**

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4. *Furnish and install complete the KwickGoal and Pole to Pole Tension Netting System, per the details 1 & 2 on sheet PF3.03. (Addendum 2)*
5. *Coordinate sleeves and inserts with other subcontractors as required. (Addendum 2)*

**ALTERNATES**

**UNIT COST**

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX (Adden 3)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#317F – FIELD SYSTEMS**

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This Subcontractor shall furnish all materials, equipment, labor and supervision to perform the work described in this document and in the Contract Documents with the following clarifications. Time is of the essence.

The Drawings and Specifications indicate the general Scope of Work of the Project, and as such, do not necessarily indicate or describe all work required for the full performance and acceptable completion of this Subcontractor's work. Contract is awarded with the understanding that the Subcontractor is to furnish and install all items required for proper completion of his work including but not limited to the following:

**1.1 CONTRACTUAL SCOPE OF WORK AND RESPONSIBILITIES:**

1. Perform all Work as shown, indicated, described, and implied in the Contract Documents, which is required to perform the *Field Systems* work complete in every respect.
2. The information provided in this Scope of Work is intended to reinforce, clarify, coordinate, and supplement the Construction Documents. In the case of conflict between the Construction Documents and this Scope of Work clarification, the more stringent requirement will apply, unless the Subcontractor is instructed differently by Ruscilli Construction Co., Inc. in writing.
3. Unless specifically noted otherwise, provide and pay for the following:
  - A. Supervision of the Subcontractor's operations, operations of the Subcontractor's Subcontractors, Suppliers, and other Agents of the Subcontractor.
  - B. Administrative services to meet Contract requirements for record keeping and submission of information.
  - C. Trade and craft labor (including wages, taxes, insurance, fringe benefits, and assessments).
  - D. Material, equipment and all costs for transportation to and from the job site.
  - E. Tools, miscellaneous consumable supplies, construction equipment and machinery, field offices, telephone services, parking, storage facilities, and craft labor change trailers. Subcontractor acknowledges the Project Site to be an extremely tight Construction Site. Employee parking, material



**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX (Adden 3)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#317F – FIELD SYSTEMS**

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storage and/or field offices are to be coordinated with the Contractor, prior to the start of work at the Subcontractor's expense.

- F. Temporary protection and heating as necessary to assure completion of the work in compliance with Contract Documents and to meet the Construction Schedule. (Exhibit "F")
  - G. Other manpower, equipment, facilities, and services necessary to complete and properly execute the work in an expeditious, professional, and workman-like manner.
  - H. Layout and engineering for this Subcontractor's work. Layout is based upon elevations and benchmarks, already established, by the Contractor. Ruscilli Construction Co., Inc. will provide identification of the property corners, building corners, and finish floor reference benchmark one time.
  - I. Coordination of this Subcontractor's work with that of other trades and Subcontractors.
  - J. Flagman, traffic and pedestrian barriers, flashing lights, shoring and bracing, and other items as required to protect workers, the work, and others during the performance of the work under this contract.
  - K. Subcontractor will provide all hoisting to complete the work of this package. No hoisting will be provided by the Contractor.
  - L. The Contractor has the authority to notify the Subcontractor of improper installations, methods and procedures that must be corrected to comply with contract requirements.
  - M. The Contractor is not responsible for the Subcontractor's safety compliance, methods, and procedures. Each Subcontractor will bear individual responsibility for safety compliance of his work and employees.
4. Unless specifically noted otherwise, schedule, secure, and pay for, as necessary for proper execution of the work, and local and state code compliance, any of the following:
- 1. Permits related to all Subcontractors work.
  - 2. Government fees related to this Subcontractor's scope of work.
  - 3. Licenses and certifications related to this Subcontractors scope of work.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX (Adden 3)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#317F – FIELD SYSTEMS**

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5. Comply with local, state, and federal agencies, and other public authority's codes, ordinances, rules, orders, regulations, and legal that applies to the work.
7. Maintain on-site a record set of "As-Built" drawings with all deviation of existing and new construction from the Construction Documents recorded. These documents will be delivered to the Contractor prior to and as part of the final closeout submittals.
8. Borings and soil test data are available for information only. The Owner, Architect, Engineer, and Contractor assume no responsibility for variations of soil and water conditions not included in the data.
9. Project is Tax Exempt and Prevailing Wage.
10. Exercise care to avoid damaging existing utilities, surfaces, and structures. This Subcontractor shall repair damage to existing and new work resulting from this Subcontractor's operations at no additional cost and to the satisfaction of the Contractor.
11. Work included in this contract shall be executed in a timely fashion to "dry-in" the building as soon as possible. Coordinate with the Contractor and the other Subcontractors to meet this schedule milestone date.
12. Subcontractor shall be responsible for any/all of the following, to effectively construct the work, including but not limited to:
  - Off-site Subcontractor employee parking
  - Off-site staging
  - Off-site material storage
  - Re-delivery / staging costs to jobsite

**1.2 SPECIFIC SCOPE OF WORK:**  
**ATHLETIC COMPLEX – FIELD SYSTEMS**

**Specifications: All Div 00, 00, 32 92 01, 32 92 05, 32 92 10, 32 91 11, 32 92 20, 32 92 21**

1. This Subcontractor's complete Scope of Work is not necessarily shown on the contract Drawings and Specifications. The following is intended to clarify specific categories of work and may not be complete in all respects.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX (Adden 3)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#317F – FIELD SYSTEMS**

---

2. Provide all material, equipment, supervision, and labor to perform the *Synthetic & Natural Turf Field Systems* complete in every respect with the following clarifications:
3. This scope includes but is not limited to turf pad (if required), turf, infill, fabric, flat panel underdrain, stone from +/- 0.10' of subgrade (subgrade provided by the sitework contractor), curb, nailer board, installation, screening of topsoil stockpiled on site, respreading of the topsoil, athletic seeding for natural grass fields, field underdrainage (non-synthetic turf fields).
4. Provide protection of the fields until being accepted by the Owner.
5. Provide all cleanup daily for your work including street cleaning and/or street sweeping of all streets free of site construction debris while onsite.
6. Prior to the start of work, the Subcontractor shall be responsible to spot verify the existing site grades to re-verify existing contours and provide a letter accepting the subgrade and elevations prior to starting work.
7. Testing and warranty as stated in specifications.
8. Attic stock as required.
9. Subgrade is going to be provided by the Sitework contractor for both synthetic and natural grass playing fields to within +/- 0.10'.
10. Perimeter collector drains and associated structures (cleanouts & manholes) are by others (Sitework package). This contractor is responsible for providing and installing all of the underdrainage and tying into the collector drain piping/structures.
11. Topsoil from stripping activities will be stockpiled onsite to a location directed by the CMR. Approx. 13,250 CY of topsoil will be available for this subcontractor to use as fill for the playing field areas. Screening and amendments of this topsoil per the contract documents will also be included in this package as required.

**Exhibit "F"**  
**SUBCONTRACTOR WORK SCOPES**  
*ATHLETIC COMPLEX (Adden 3)*

**EXHIBIT "A"**  
**SCOPE OF WORK - BP#317F – FIELD SYSTEMS**

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**ALTERNATES**

- A.) Provide separate pricing for the Natural Grass playing fields vs. the Synthetic Turf Playing fields

**UNIT COST**



Exhibit "H"  
**Hilliard Recreation and Wellness Center**  
**GMP Amendment #3**  
3/20/2023

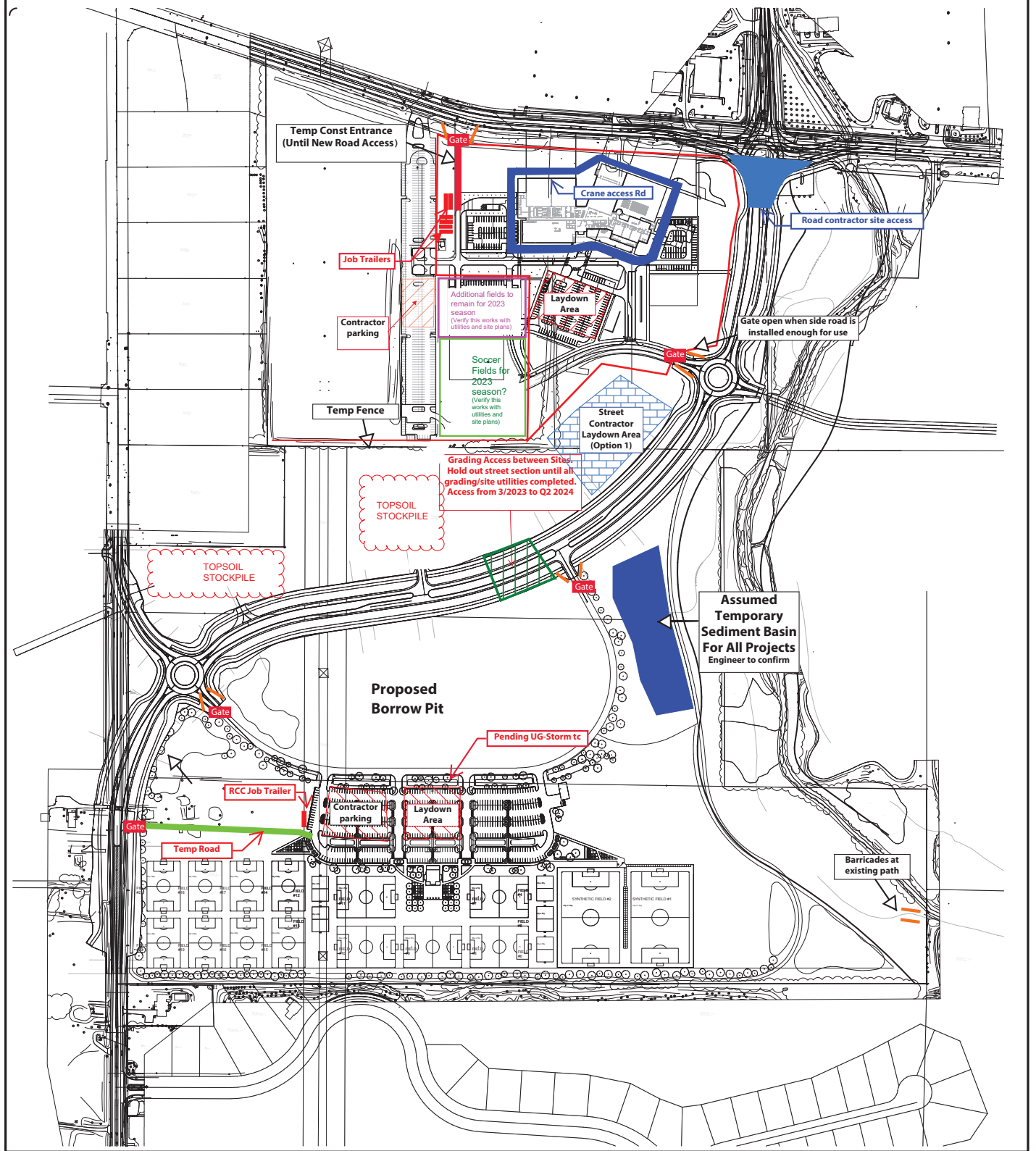


**SCHEDULE OF ALLOWANCES**

Schedule of Allowances: (all allowances include labor, material, & equipment unless otherwise noted)

<b>1 Soil Management (Athletic Complex &amp; Rec Center)</b>	<b>\$ 250,000</b>
Pursuant to the Owner's Representative direction, this allowance is to be used for lime stabilization, drying of soils, additional import / export that may be required during excavation activities, major dewatering, etc. that is above and beyond what's required within the Contract Documents to complete the scope of work and meet the schedule durations provided within Exhibit "D" Construction Schedule.	
<b>2 Entry Sign (Athletic Complex)</b>	<b>\$ 20,000</b>
This allowance is to be used for the Entry Sign per coded note #7 on Sheet L1.04. No details or specifications were provided within the Contract Documents. This allowance includes, but is not limited to, excavation, haul off spoils, concrete, masonry, signage construction, lighting, technology, equipment, painting, inserts.	
<b>3 Wood Trusses &amp; Heavy Timber Trusses (Athletic Complex)</b>	<b>\$ 111,250</b>
This allowance is included due to the roof framing plan not being fully designed and coordinated to be able to get firm pricing. Includes, but is not limited to, shop drawings, fabrication, delivery, installation, equipment, 2x12 wood joists, heavy timber trusses, hardware, accessories.	
<b>4 Fiber Cement Siding (Athletic Complex)</b>	<b>\$ 60,750</b>
This allowance is included due to no specification provided for the fiber cement siding as this product has not yet been selected. Includes, but is not limited to, shop drawings, fabrication, delivery, installation, equipment, fiber cement panels, trim, hardware, accessories. Value is based on 2,025 SF @ \$30.00 /SF (material & install).	
<b>5 Exterior Soffit (Athletic Complex)</b>	<b>\$ 34,688</b>
This allowance is included due to no detail or specification provided for the underside soffit of the pavilion building. Includes, but is not limited to, shop drawings, fabrication, delivery, installation, equipment, framing, soffit panels, trim, accessories, hardware. Value is based on 2,775 SF @ \$12.50 /SF (material & install).	
<b>6 Undefined Structural Steel (Rec Center)</b>	<b>\$ 150,000</b>
This allowance is included due to the structural drawings not being 100% completed. The intent of this allowance is to pick up the miscellaneous structural steel not yet designed. This allowance is to include, but is not limited to, storefront / curtain wall support with C12 framing, elevator hoist beams, masonry lintels, dormer framing, skylight framing, perimeter edge of second floor slab on metal deck, moment connections, clip / support angles.	
<b>7 Recessed Slab Areas (Rec Center)</b>	<b>\$ 98,175</b>
Pursuant to the Architect's direction, this allowance is to be used for recessing of slabs for floor finish applications. These areas are yet to be designed within the Contract Documents. Value is based on 28,050 SF @ \$3.50 /SF.	
<b>8 Owner Contingency Allowance</b>	<b>\$ 1,000,000</b>
This allowance is to be used for the sole and exclusive use of the Owner and cannot be allocated or utilized by the Construction Manager unless directed in advance by the Owner and/or the Owner's Representative in writing. All expenditures of this Owner Contingency shall be tracked using the PCO Log and shall include detail records and documentation which shall be part of all approvals provided during the course of the Project.	
<b>TOTAL</b>	<b>\$ 1,724,863</b>

NOTES: The allowances above exclude Ruscilli overhead, profit and general conditions as those costs are included within the GMP, however any overages or savings on these allowances will be subject to contingency, fee, insurance adjustments, etc.



1 OVERALL SITE PLAN  
1" = 200'-0"

## Hilliard Recreation & Wellness Center and Athletic Field Complex Project

### Exhibit "L" Site Utilization Plan



## **Exhibit “M”**

3/20/2023

To be used in conjunction with AIA-A133-2019

### **Ruscilli Construction Standard Billing Rates**

#### **Hilliard Athletic Complex**

Rates for personnel assigned to the Project when located in or out of the home office in connection with the work will be as follows:

<b>POSITION</b>	<b>HOURLY BASE RATE</b>
Project Manager #1	\$92.31
Project Manager #2	\$85.55
Lead Superintendent #1	\$105.52
Lead Superintendent #2	\$79.39
Project Engineer	\$61.27
MEP Engineer	\$70.00
Assistant Superintendent	\$103.00
Project Executive	\$154.77
Construction Quality Manager	\$102.95
Safety Director	\$70.79
Scheduling Manager	\$100.03
Project Administrator	\$45.00
Accounting	\$74.16
General Laborer*	\$40.00
Carpenter/Foreman*	\$55.00

The hourly rates established above include a multiplier. The multiplier includes the cost of fringe benefits, retirement, hospitalization, vacations, medical insurance, assessments, and taxes such as unemployment compensation and social security.

All rates are valid through December 31, 2023 and are subject to yearly adjustment due to annual salary and wage increases.

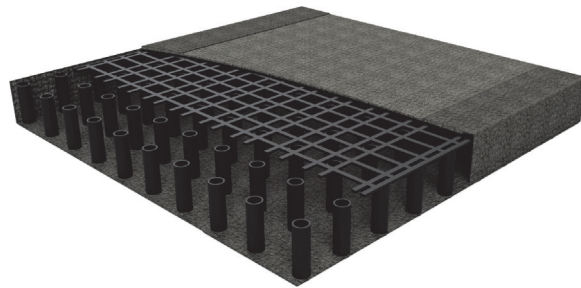


Hydraway is a geocomposite subsurface drainage solution that's composed of a structured high-density polyethylene (HDPE) perforated core that is thermally bonded to a geotextile filter fabric.

The geotextile allows water to pass through while retaining backfill materials. The perforated core allows water collection from all sides and provides a continuous flow path.

Hydraway provides a value engineered solution to the conventional perforated pipe and aggregate subsurface drainage systems. This solution is more durable as it prevents clogs, fungal growth, and disintegration.

Hydraway comes in widths of 6 and 12 inches with a standard length of 150 feet. It can be customized in a variety of lengths and widths upon request.



PROPERTY	TEST METHOD	UNIT OF MEASUREMENT	HY206-A150	HY211-A150
Size		in x ft	6 x 150	12 X 150
<b>GEOTEXTILE<sup>1</sup> - NEEDLE-PUNCTURED, NONWOVEN</b>				
Elongation	ASTM D-4632-91	%	50	50
Grab Tensile	ASTM D-4632-91	lbs	120	120
Puncture Strength	ASTM D-4833-00	lbs	65	65
Mullen Burst Strength	ASTM D-3756-87	psi	225	225
Trapezoidal Tear	ASTM D-4533-91	lbs	50	50
Wide width Tensile	ASTM D-4595	lbs/in	50	50
UV Resistance <sup>2</sup>	ASTM D-4355-02	%	70	70
Permittivity	ASTM D-4491-99A	sec	1.8	1.8
Permeability	ASTM D-4751-99A <sub>4</sub>	cm/sec	.21	.21
Flow Rate	ASTM D-4491	gal/min/ft <sup>2</sup> <sub>4</sub>	135	135
AOS (EOS)	ASTM D-4751-99A	US standard sieve	70	70
<b>CORE - HDPE</b>				
Compressive Strength	ASTM D-695/1621 <sub>5</sub>	PSF	11,400	11,400
Flow Rate at 1,500 PSF	ASTM D-47162 <sub>3</sub>	GPM/ft-width	11	21.9
Peel Strength <sup>3</sup>	ASTM D-1876	lbs/ft-width	50	50

1. 4 oz fabric.

2. Based on 500 hours of testing.

3. Gradient of 0.1.

4. Values shown are in weaker principal direction. Minimum average roll values are calculated as the typical minus two standard deviations. Statistically, it yields a 97.7% degree of confidence that any samples taken from quality assurance testing will exceed the value reported.

5. Modification was made to an existing ASTM test since a recognized test method had not been established for this type of product at time of testing.

Exhibit "N"  
**Hilliard Recreation and Wellness Center**  
GMP Amendment #3  
3/20/2023

**HYDRAWAY FLAT PANEL DRAIN CUT SHEET**

Page 112 of 140



## Quote

Date: March 3, 2023  
To: Bidding Contractor

Project: Hilliard Athletic Complex  
Hilliard, OH  
Ref: 223270

**Materials Only Delivered to Job Site Plus Installation of Foundations, Poles, And Fixtures**

LED Lighting for (2) Soccer Fields, 330' x 210', 30 Foot-candles with controls & 25 year warranty ..... \$282,844.00

*Sales tax, bonding, labor, and unloading of the equipment are not included. Pricing furnish otherwise noted and is considered confidential.*



7 days unless

**Light-Structure System with Total Light Control – TLC for LED™ technology**

### System Description

- (6) Pre-cast concrete bases with integrated lightning grounding
- (6) 70' Galvanized steel poles
- Factory wired and tested remote electrical component enclosures
- Pole length, factory assembled wire harnesses
- Factory wired poletop luminaire assemblies
- (40) Factory aimed and assembled luminaries
- UL Listed as a complete system

Exhibit "O"  
**Hilliard Recreation and Wellness Center**  
**GMP Amendment #3**  
3/20/2023

### **MUSCO SPORTS LIGHTING SCOPE**

### Control System, Warranty And Services

- Control-Link® control and monitoring system to provide remote on/off and dimming (high/medium/low) control and performance monitoring with 24/7 customer support
- Product assurance and warranty program that covers materials and onsite labor costs for 25 years
- Includes installation of foundations, poles, and fixtures

### Payment Terms

Musco's Credit Department will provide payment terms.

### Delivery Timing

8 - 12 weeks for delivery of materials to the job site from the time of order, submittal approval, and confirmation of order details including voltage, phase, and pole locations. Due to the built-in custom light control per luminaire, pole locations need to be confirmed prior to production. Changes to pole locations after the product is sent to production could result in additional charges. Installation time of poles requires two weeks.

### Notes

Quote is based on:

- Shipment of entire project together to one location.
- 480 Volt, 3 Phase electrical system requirement.
- Structural code and wind speed = IBC 2015, 115 mi/h, Exposure C, Importance Factor I, Risk Category II.
- Foundation design based upon standard soils.
- Confirmation of pole locations prior to production.

Thank you for considering Musco for your lighting needs. Please contact me with any questions or if you need additional details.

*John Kaufman*

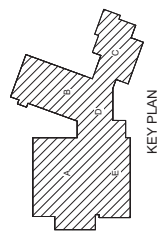
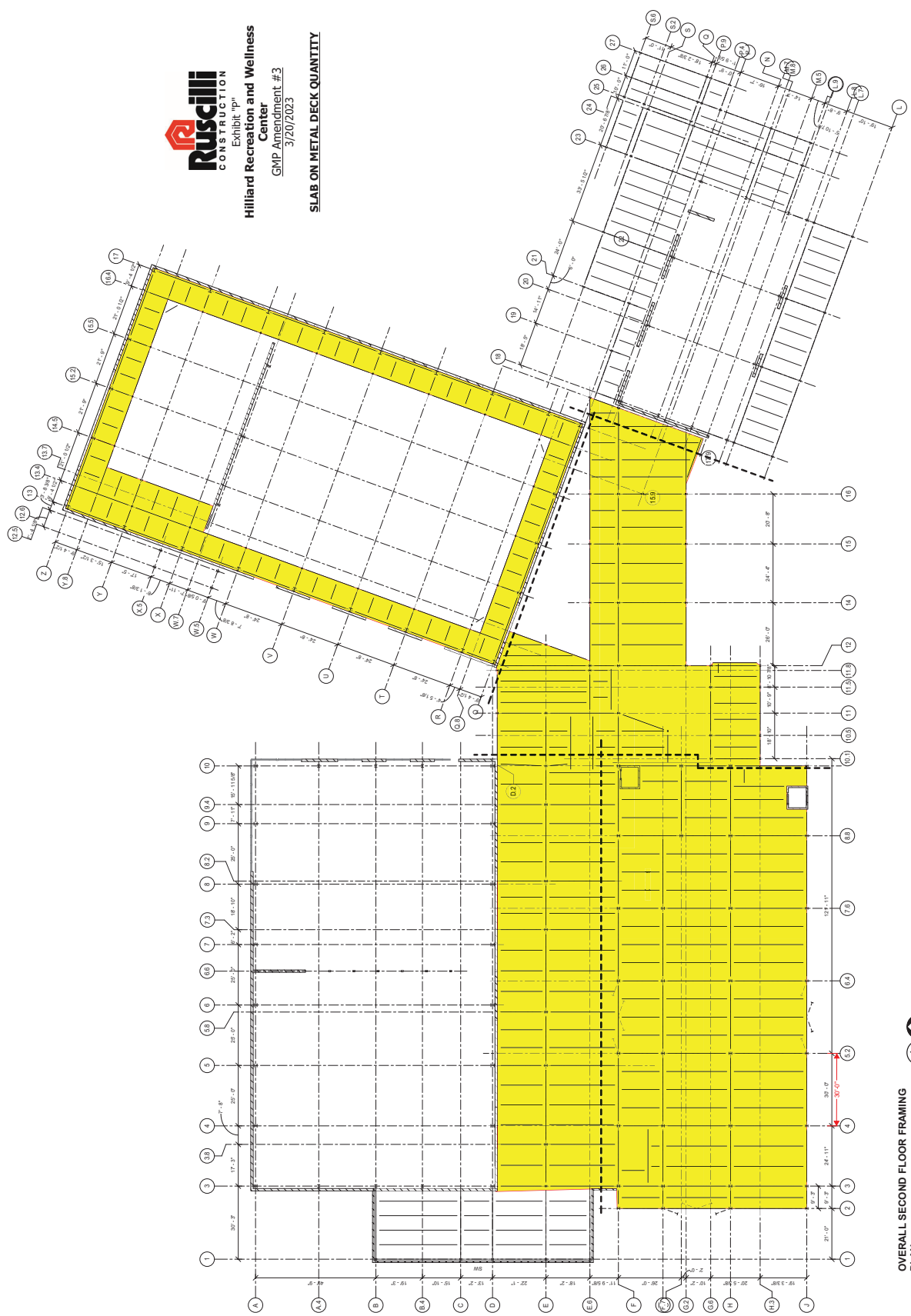
Field Representative  
Musco Sports Lighting, LLC  
Phone: 614-937-9584  
E-mail: John.Kaufman@musco.com



**Ruscilli**  
CONSTRUCTION

Exhibit "p"  
Hilliard Recreation and Wellness Center  
GMP Amendment #3  
3/20/2023

SLAB ON METAL DECK QUANTITY



OVERALL SECOND FLOOR FRAMING  
PLAN  
1/16" = 1'-0"



March 17, 2023

Revision 2: March 20, 2023

Attn: ROB HITTLE  
HITTLE ROOFING INC.  
3025 OLDE FALLS RD  
ZANESVILLE, OHIO 43701

Exhibit "Q"  
**Hilliard Recreation and Wellness  
Center**  
GMP Amendment #3  
3/20/2023

**Re: Hilliard Recreation and Wellness Center  
Hilliard, Ohio**

To Whom It May Concern:

**EPDM SYSTEMS**

This letter shall acknowledge that the following Carlisle roofing system is considered for warranty by Carlisle SynTec Systems.

Building Height:	Approximately 32-feet tall
Membrane:	60-mil Sure-Seal® EPDM membrane adhered with 90-8-30A Bonding Adhesive.
Cover Board:	1/2" SecurShield HD Plus [4'x 8' boards] mechanically fastened with 24 Carlisle InsulFast™ fasteners and 3" insulation plates in the field, perimeter and corners.
Insulation:	2 layers 2.2-inch thick and Tapered crickets InsulBase® Polyisocyanurate insulation loose laid
Vapor Barrier:	VapAir Seal™ 725TR Air and Vapor Barrier self-adhered to thermal barrier.
Thermal Barrier:	SECUROCK Gypsum-Fiber: 1/2" fastened at roofer's discretion.
Deck:	New 22-gauge steel or heavier deck

The roofing assembly described herein, represents Carlisle's minimum warranty requirements. It is not intended to modify, negate or alter any requirements dictated by the specifier or mandated by the building code or the building owner's insurer. Carlisle's review and inspection are strictly for the purpose of issuing the Carlisle warranty.

System enhancements pertaining, but not limited, to membrane thickness, insulation type and thickness, flashing height, slope requirements and membrane terminations [beyond those required by Carlisle] are to be complied with when specified unless approved by the Architect / Consultant. These conditions are considered above and beyond the scope of Carlisle review and take precedence.

Upon final inspection and acceptance by a Carlisle Field Service Representative confirming that the roof system has been installed in accordance with Carlisle Specifications, Carlisle will issue a 20-year warranty with 120-MPH wind speed coverage. Unless purchased or supplied through Carlisle, please note that performance, integrity, and impact of products by others is not included under coverage of the Carlisle Warranty.

If you have any question or need any additional information, feel free to contact our office.

Sincerely,

Kristiana Burns  
Design Analyst  
Carlisle SynTec Systems

Cc: Greg Bush; Doug Dobson; Mike Wieser

## Polyiso Insulation Products



**The Foundation of Carlisle's Single-Ply Roofing Systems**





# Carlisle Value

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For over 50 years, the name Carlisle has been synonymous with high-quality, innovative commercial roofing materials. Since its inception as a company, Carlisle has been dedicated to providing construction professionals with the best products, services, and warranty programs on the market.

Today, as the world's largest supplier of commercial roofing materials, Carlisle's product offerings have grown but the company's mission remains much the same as it was 5 decades ago: developing and manufacturing the industry's most innovative, highest-quality products to enhance building performance and promote sustainability.

One of the simplest ways to support sustainability through construction practices is through the use of insulation. Carlisle's lightweight, cost-effective polyisocyanurate (polyiso) insulation products provide energy-efficient solutions for buildings in any region and climate, as well as outstanding return on investment and significant energy savings. With an industry leading eight polyiso manufacturing lines strategically positioned throughout North America, Carlisle is able to provide on-time delivery of its innovative insulation products to any jobsite.

---

# Energy-Efficient Polyiso Insulation



## FEATURES AND BENEFITS

- » Highest R-value per inch of any commercially available roof insulation
- » Unmatched roof design flexibility
- » Outstanding installed cost advantages
- » Compatible with all single-ply membranes
- » Minimal water absorption and vapor transmission
- » Exceptional fire resistance (FM 4450 and UL 1256 approvals)
- » Zero ODP and HCFC-free
- » Quality Mark<sup>CM</sup> third-party certification for Long-Term Thermal Resistance (LTRR)
- » Superior compressive strength
- » Excellent dimensional stability
- » Readily available throughout North America
- » Contains post-industrial recycled content

## SUPERIOR INSULATION

Polyiso is a closed-cell, rigid foam board insulation used primarily in offices, health facilities, warehouses, retail buildings, industrial manufacturing facilities, and educational institutions. Because of its high thermal performance, polyiso is the product of choice for energy-conscious consumers who are looking to reduce energy consumption and costs.

Polyiso is one of North America's most widely-used and cost-effective insulation products and has been promoted by the U.S. Environmental Protection Agency for its responsible impact on the environment.

## THE BEST OPTION

Polyiso insulation offers the highest level of thermal performance of any rigid foam insulation on the market, providing design flexibility while remaining cost-effective, energy-efficient, and environmentally responsible.

## ENVIRONMENTALLY SOUND

Polyiso insulation provides the highest net return on embedded energy and the lowest global warming potential of all rigid commercial roof insulation choices.

- » Zero ozone depletion potential (Zero-ODP)
- » LEED<sup>®</sup> benefits



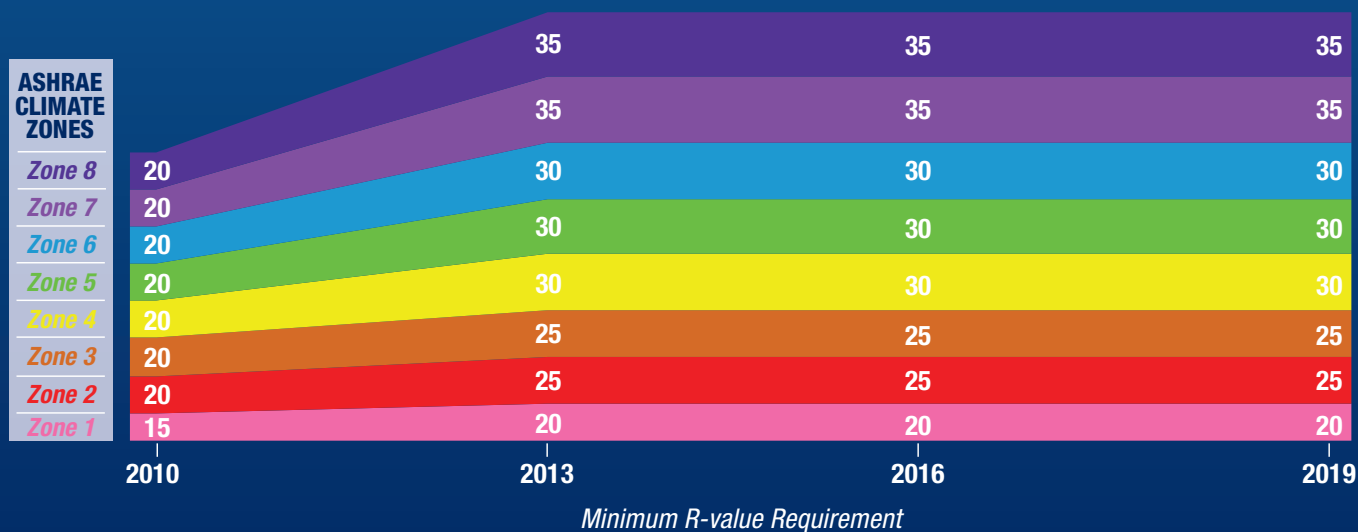
**PIMA Polyiso Roof Insulation  
Environmental Product Declaration (No. EPD10465)**





## Code Requirements

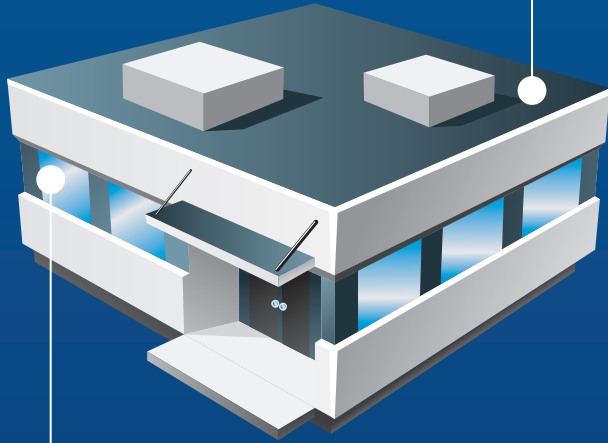
Code required R-values have increased substantially in a short period of time based upon the growing recognition of the positive impact insulation usage has on reducing energy consumption. A building owner only gets one chance to increase the insulation in the roof system approximately every 20 years. Consider future energy requirements and associated energy costs over the entire lifespan of the installed roof system when making these important decisions.





# Energy Savings

EPDM – 20-year roof



One-story office  
building – 50,000 sq. ft.

## Additional R-10 Insulation

What is the true cost of adding insulation to a roof system? Adding R-10 to the building above would cost approximately \$31,000 in insulation product. Modeled Energy Savings based on various locations are displayed to the right.

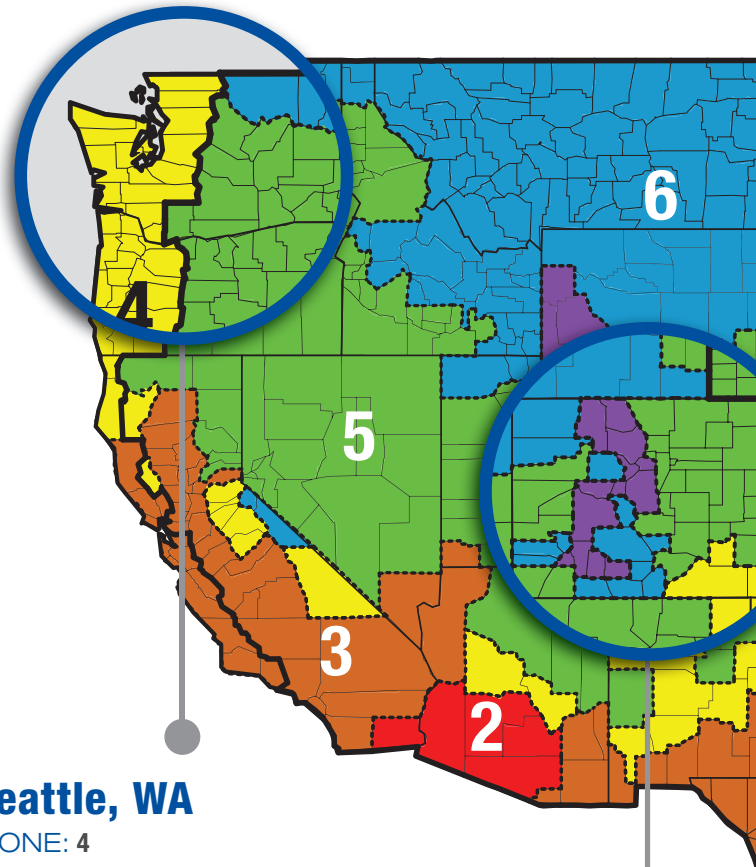
*Electric @ \$0.10/kWh and gas @ \$8.59/1000 cubic ft.  
Energy costs assuming 2% annual inflation  
Results generated by ORNL's Roof Savings Calculator.*

### Minneapolis, MN

ZONE: 6

**R-20 VS. R-30 SAVINGS: \$140,049**

PAYBACK IN YEARS: 6



### Seattle, WA

ZONE: 4

**R-20 VS. R-30 SAVINGS: \$101,911**

PAYBACK IN YEARS: 7

### Denver, CO

ZONE: 5

**R-20 VS. R-30 SAVINGS: \$99,027**

PAYBACK IN YEARS: 7

## Chicago, IL

ZONE: 5

**R-20 VS. R-30 SAVINGS: \$118,811**

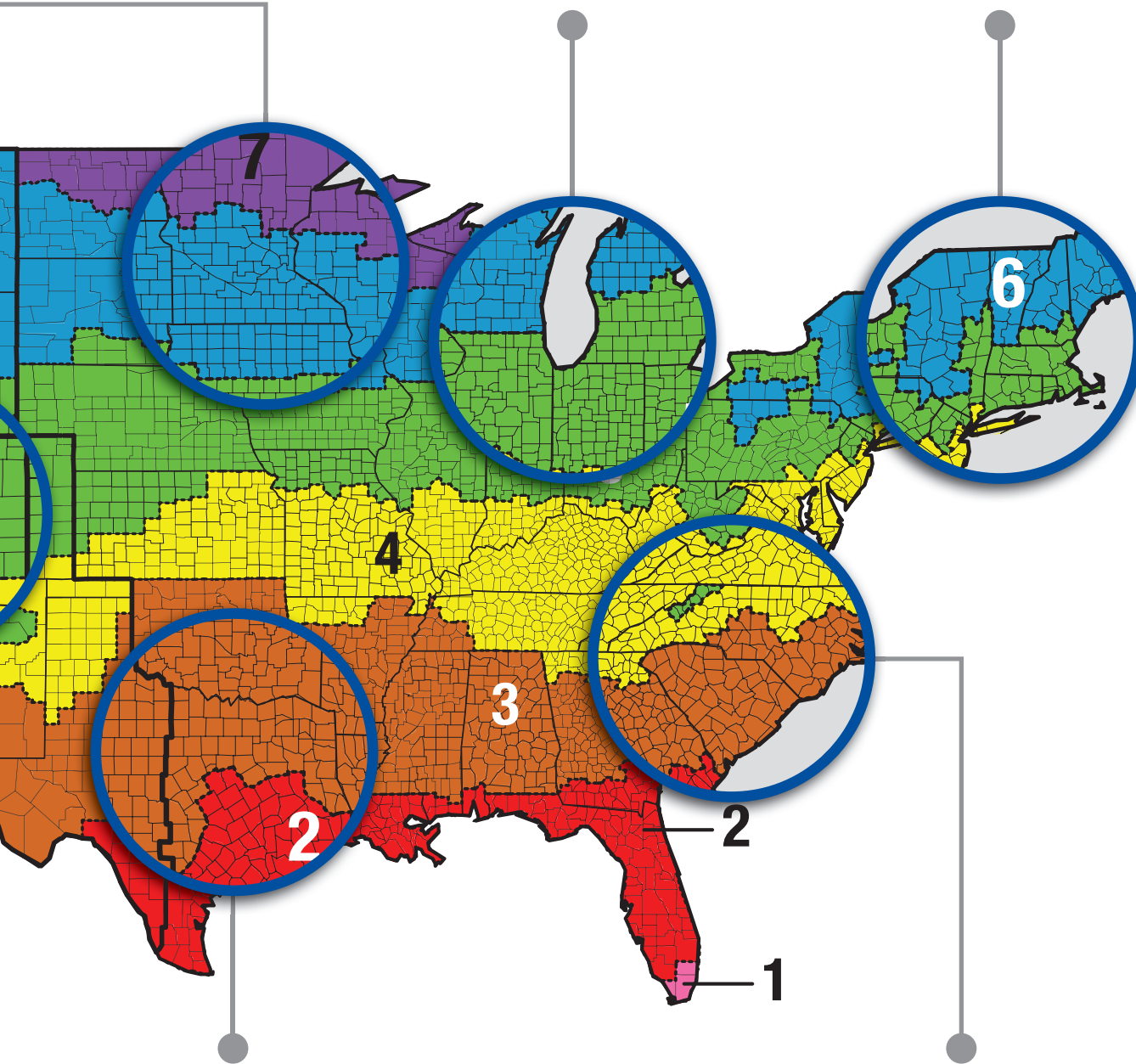
PAYBACK IN YEARS: 7

## Boston, MA

ZONE: 5

**R-20 VS. R-30 SAVINGS: \$107,371**

PAYBACK IN YEARS: 7



## Dallas, TX

ZONE: 3

**R-20 VS. R-30 SAVINGS: \$70,454**

PAYBACK IN YEARS: 10

## Charlotte, NC

ZONE: 4

**R-20 VS. R-30 SAVINGS: \$75,399**

PAYBACK IN YEARS: 10

# Polyiso Insulation Products to Meet Every

## InsulBase® – The Foundation

An effective Polyiso insulation used as the foundation for most Carlisle single-ply, low-slope commercial rooftop applications. The glass-reinforced felt (GRF) facer is compatible with all membranes, including FleeceBACK and all adhesives, including self-adhered technologies.

- » InsulBase polyiso insulation provides the highest R-value per inch of any commercially available roof insulation products
- » Environmentally friendly construction with 0% ozone-depleting components and HFC free
- » Approved for direct application to steel decks

## StormBase® – Ultimate Defense

The ultimate defense in the harshest of environments. OSB cover board combined with InsulBase insulation to create a single product. StormBase OSB composite insulation is the definitive solution where enhanced hail and uplift resistance are required.

- » A superior combination of high-insulating properties and a resilient OSB surface, ideal for high-traffic roof installations
- » Higher wind uplift performance
- » Composite of insulation and cover board saves handling and installation labor
- » Suitable for new construction and re-roofing on commercial projects – Incorporates APA-TECO-rated exposure 1 oriented strand board
- » Environmentally friendly construction with 0% ozone-depleting components and HFC free
- » Approved in FM Very Severe Hail (VSH) roofing assemblies
- » 8 fastener FM 1-90 rating with standard plates and fasteners



### InsulBase

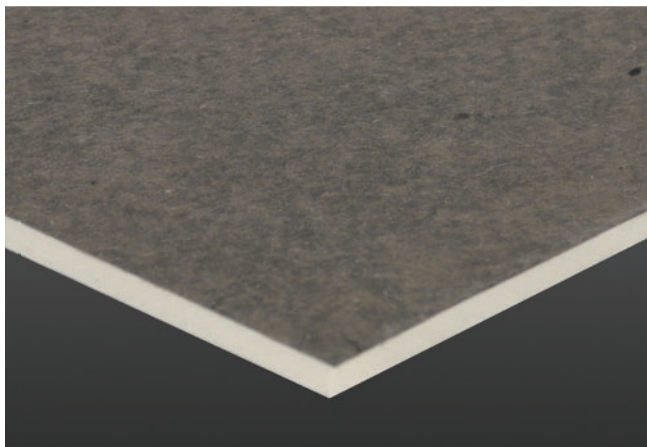
A rigid roof insulation panel composed of a closed-cell polyisocyanurate foam core bonded to **glass-reinforced felt (GRF) facers**. UL and FM approved for direct application over steel decks, polyiso provides the highest R-value per inch of any commercially available roof insulation product.



### StormBase

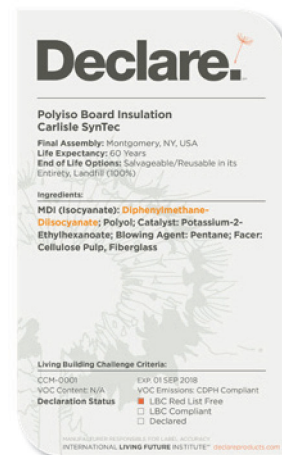
A rigid roof insulation composite panel composed of a closed-cell polyisocyanurate foam core bonded to a **glass-reinforced felt (GRF) facer** on one side and  $\frac{7}{16}$ " oriented strand board (OSB) on the other.

# Need



## InsulBase HD

A rigid roof insulation panel composed of 1/2" high-density, closed-cell polyisocyanurate foam core bonded to glass-reinforced felt (GRF) facers specifically designed to be used as a cover board in mechanically-fastened or induction-welded systems only. Provides 5 times the R-value at one-fifth the weight of traditional gypsum cover boards

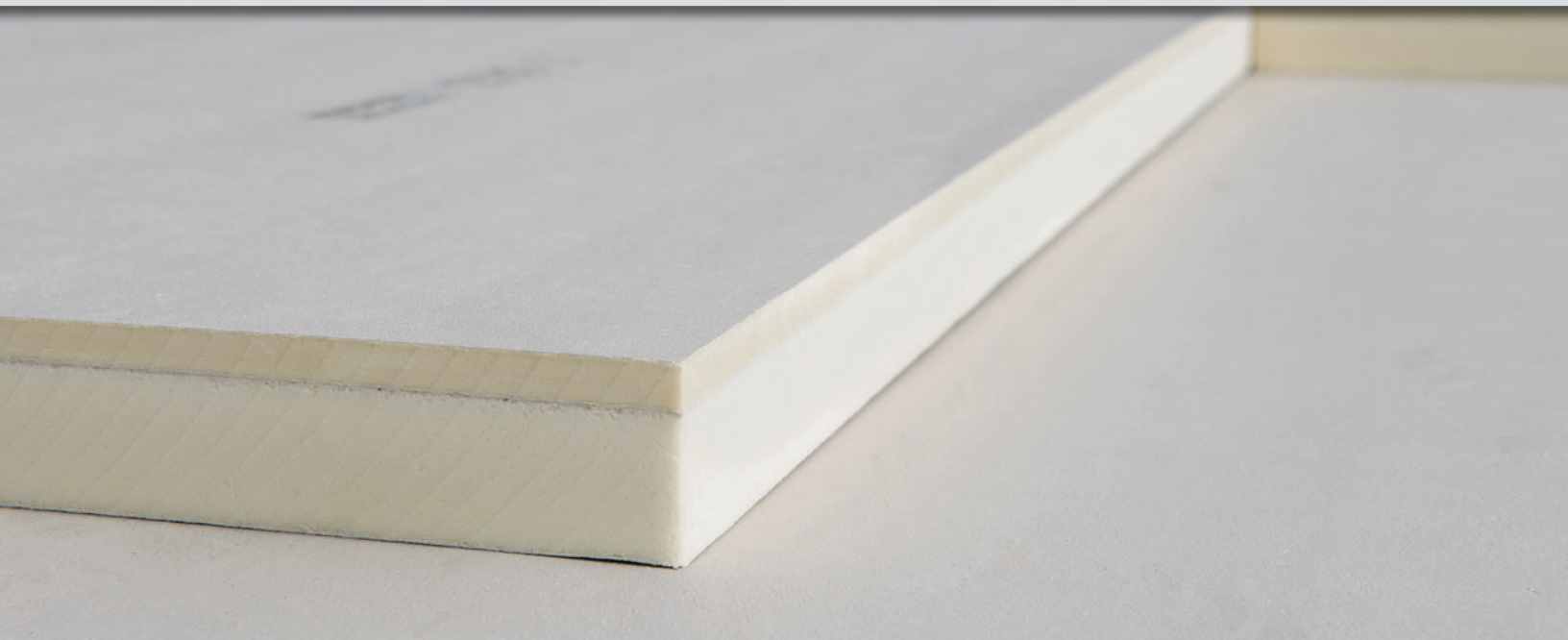


## InsulBase NH

A Living Building Challenge (LBC) "Red List Free" rigid roof insulation panel composed of a closed-cell polyisocyanurate foam core bonded to the appropriate facer. InsulBase NH and SecurShield NH contain **zero halogenated flame retardants**.



# SecurShield® with ReadyFlash® Technology –



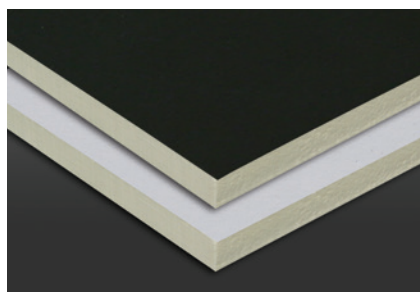
## SecurShield – Enhanced Performance

Enhanced performance through superior moisture resistance. The coated glass facer (CGF) is compatible with all membranes, adhesives, and ideal for use with adhered membranes. Offering increased resistance to foot traffic, hail, wind uplift and fire, the SecurShield family of products offer the **best value** in Polyiso insulation for low-slope commercial rooftop applications.



### SecurShield®

A rigid roof insulation panel composed of a closed-cell polyisocyanurate foam core bonded to high performance **coated glass facers (CGF)**. Ideal for use in adhered membrane systems.



### SecurShield HD

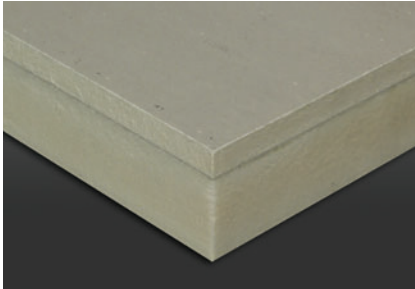
A rigid roof insulation panel composed of ½" high-density, closed-cell polyisocyanurate foam core bonded to a premium performance coated glass facer (CGF) specifically designed for use as a **cover board**. Provides 5 times the R-value at one-fifth the weight of traditional gypsum cover boards.



### SecurShield HD Plus

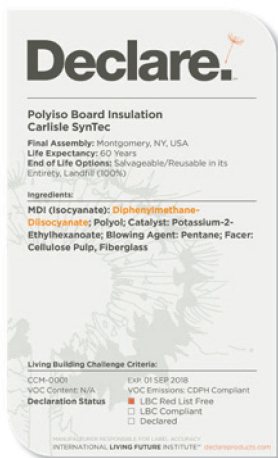
A rigid roof insulation panel composed of a ½" high-density, closed-cell polyisocyanurate foam core bonded to a premium performance coated glass facer (CGF) specifically designed for use as a **cover board**. Enhanced performance of the HD Plus product provides a **FM 1-90 wind uplift rating with only 8 fasteners**.

# Enhanced Performance



## SecurShield HD Composite

A unique composite insulation panel comprised of a ½" high-density polyiso cover board bonded during the manufacturing process to SecurShield rigid polyiso roof insulation. Eliminates the need for a separate cover board, reduces inter-ply adhesives and saves labor on the roof. **A single product solution.**



## SecurShield NH

A Living Building Challenge (LBC) "Red List Free" rigid roof insulation panel composed of a closed-cell polyisocyanurate foam core bonded to the appropriate facer. InsulBase NH and SecurShield NH contains **zero halogenated flame retardants.**

## ReadyFlash Technology

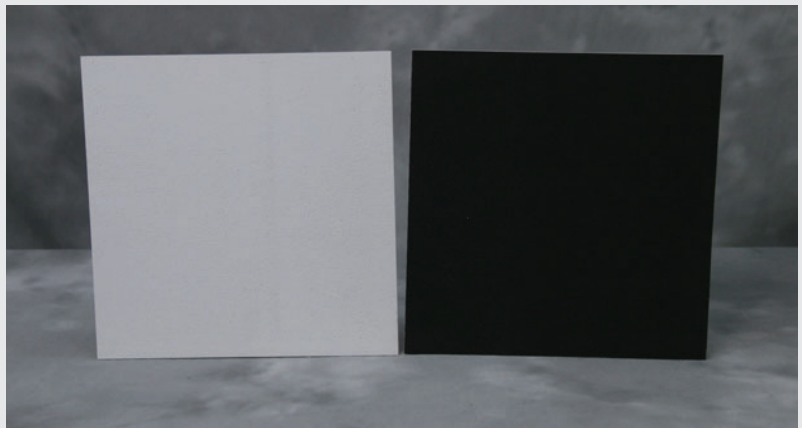
ReadyFlash Technology allows applicators to manage adhesive flash-off times by choosing between two different-colored facers on every board. ReadyFlash products feature a dark-colored coated glass facer (CGF) on one side of the insulation board and a light-colored CGF on the other.

## ReadyFlash TECHNOLOGY

Utilizing the sun's energy, the dark facer accelerates adhesive flash-off, while the light facer slows it down. Applicators can choose which side of the board to use, helping to offset environmental variables affecting adhesive flash-off; such as temperature, sunlight, humidity, wind speed, size of crew, current pace, and time of day.

ReadyFlash Technology benefits:

- » Allows the applicator to speed up or slow down adhesive flash-off time
- » Increases surface temperature of the dark facer up to 50°F (28°C) above ambient temperature
- » Decreases surface temperature of the light facer up to 10°F (6°C) below ambient temperature
- » Provides up to 4x faster adhesive flash-off when utilizing the dark facer



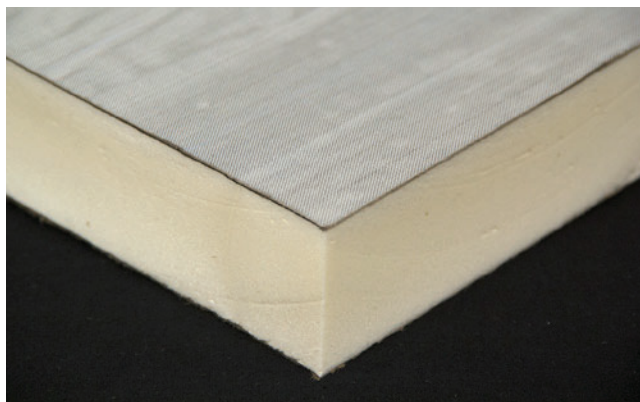
# RapidLock Technology

## Revolutionary Membrane Attachment Method



Carlisle's RapidLock (RL®) Roofing System is a revolutionary membrane attachment method that provides a fully adhered system without the use of adhesives. The RL system utilizes VELCRO® Brand Securable Solutions along with FleeceBACK RL EPDM, FleeceBACK RL TPO, or FleeceBACK RL PVC to achieve performance on par with traditional fully adhered single-ply systems. Underlayment options include InsulBase RL, SecurShield RL, and SecurShield HD RL Polyiso. The RL system is VOC- and odor-free, has no bottom-end application temperature restrictions, and provides significant rooftop labor savings due to its ease of installation.

*Rapid***Lock**  
TECHNOLOGY



### RAPIDLOCK MEMBRANE

- » FleeceBACK RL EPDM
- » FleeceBACK RL TPO
- » FleeceBACK RL PVC

### RAPIDLOCK INSULATION

- » InsulBase RL
- » SecurShield RL
- » SecurShield HD RL

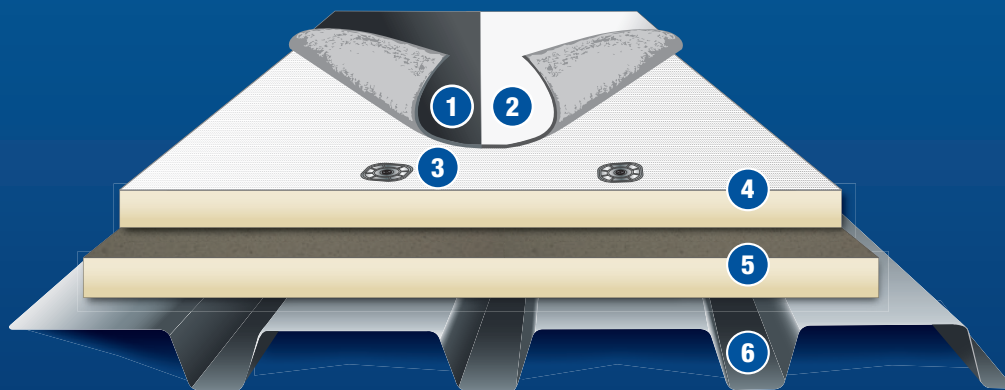
### SYSTEM FEATURES AND BENEFITS

- » No application temperature restrictions
- » VOC- and odor-free
- » Adhesive-less system saves time and labor
- » Integrated slip sheet lightly adhered to FleeceBACK for ease of installation
- » Factory Mutual wind uplift ratings similar to traditional fully adhered FleeceBACK systems
- » Excellent resistance to hail and punctures





## FLEECEBACK RL RAPIDLOCK ROOFING SYSTEM



1. FleeceBACK RL EPDM Membrane with RapidLock Technology
2. FleeceBACK RL TPO or FleeceBACK RL PVC Membrane with RapidLock Technology
3. Insulation Fasteners and Plates
4. InsulBase RL or SecurShield RL Polyiso with RapidLock Technology
5. InsulBase or SecurShield Polyiso
6. Steel Deck



# Engineered for **Positive Roof Drainage**

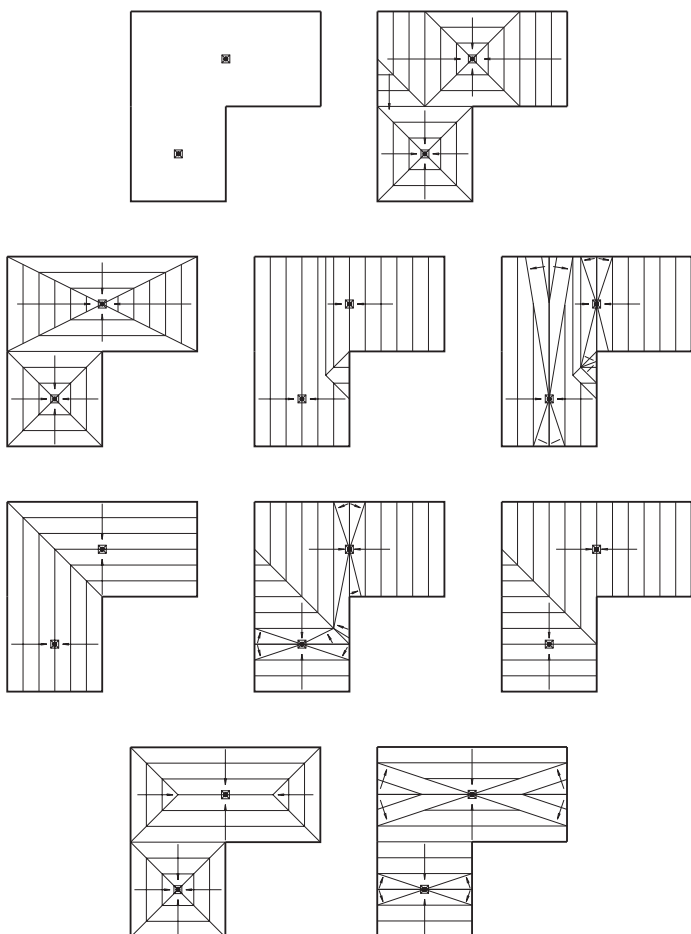


## TAPERED SYSTEMS

### StormFlow Technology

Buildings with poor roof drainage may experience issues that can compromise their long-term performance. A properly designed tapered insulation system can help to minimize the detrimental effects of ponding water while providing the required R-value and reducing energy consumption.

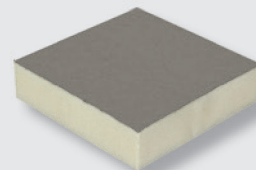
Carlisle can offer recommendations that address each building's unique requirements while increasing energy-efficiency and ensuring positive drainage. Carlisle's tapered design experts have over 100 years of collective experience and can provide a 24-hour turnaround on most tapered design requests.



## TAPERED INSULATION OPTIONS

### Tapered Polyiso

A sloped, rigid roof insulation panel composed of a closed-cell polyisocyanurate foam core bonded to a coated glass or fiber-reinforced facer. Designed to **promote positive drainage** and prevent ponding water.



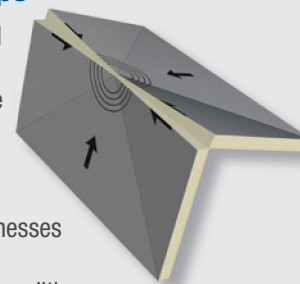
### Pre-Cut Hips and Valleys

For use in tapered polyiso systems, Carlisle's Pre-Cut Hips and Valleys arrive ready to install and **require no field cuts**, saving time and labor. Custom-designed to meet job requirements, including slope and thickness, with no waste.



### Hinged Target Sumps

Designed for use in tapered polyiso systems, Carlisle's Hinged Target Sumps arrive ready to install, **saving valuable time on the roof**. Concentric circles simplify drain cutout. Multiple thicknesses and slopes are available to accommodate specific job conditions with no waste.



# Classifications, Cover Board, and Insulation

## ASTM C1289 POLYISO ROOFING INSULATION CLASSIFICATIONS

Type II			Type V
			OSB on one side with reinforced felt or glass fiber mat on the other side
<b>Class 1</b> Glass reinforced felt (GRF) facers on both sides	<b>Class 2</b> Coated glass (CGF) facers on both sides	<b>Class 4</b> Coated glass (CGF) facers on both sides (½" max thickness)	
<b>Available in:</b> Grade 2 (20 PSI) Grade 3 (25 PSI)	<b>Available in:</b> Grade 2 (20 PSI) Grade 3 (25 PSI)	<b>Available in:</b> Grade 1 (80 PSI min, 109 PSI max)	<b>Available in:</b> Grade 2 (20 PSI)
<b>InsulBase<sup>®</sup> POLYISO</b> Insulation <b>InsulBase<sup>®</sup> POLYISO</b> Tapered Insulation <b>InsulBase<sup>®</sup> NH POLYISO</b> Insulation <b>InsulBase<sup>®</sup> RL<sup>®</sup> POLYISO</b> RapidLock Insulation <b>InsulBase<sup>®</sup> HD POLYISO</b> Insulation	<b>SecurShield<sup>®</sup> POLYISO</b> Insulation <b>SecurShield<sup>®</sup> POLYISO</b> Tapered Insulation <b>SecurShield<sup>®</sup> NH POLYISO</b> Insulation <b>SecurShield<sup>®</sup> RL<sup>®</sup> POLYISO</b> RapidLock (RL) Insulation <b>SecurShield<sup>®</sup> HD Composite POLYISO</b> Insulation	<b>SecurShield<sup>®</sup> HD POLYISO</b> Insulation <b>SecurShield<sup>®</sup> HD Plus POLYISO</b> Insulation <b>SecurShield<sup>®</sup> HD RL<sup>®</sup> POLYISO</b> RapidLock Insulation <b>SecurShield<sup>®</sup> HD Composite POLYISO</b> Insulation	<b>StormBase<sup>®</sup> POLYISO</b> Insulation



## COVER BOARD OPTIONS

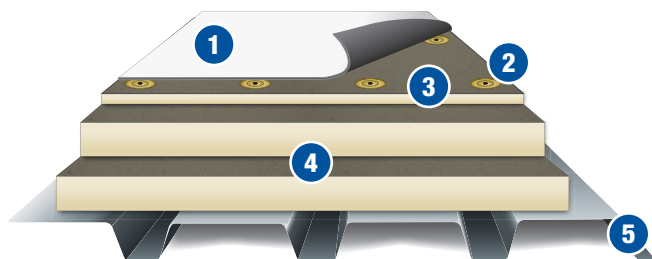
High-Density Polyisocyanurate Cover Boards		
Cover Board	Thickness	Direct Membrane Attachment
InsulBase HD	½"	Mechanically-Fastened
SecurShield HD	½"	Mechanically-Fastened Fully-Adhered
SecurShield HD Plus	½"	Fully-Adhered
SecurShield HD RL	½"	Hook & Loop

## INSULATION OPTIONS

Polyisocyanurate Insulation Glass-Reinforced Felt (GRF) Facers		
Insulation	Thickness	Direct Membrane Attachment
InsulBase	½" – 4½" (available in taper)	Fully-Adhered Mechanically-Fastened Ballasted
InsulBase NH	½" – 4½" (available in taper)	Fully-Adhered Mechanically-Fastened Ballasted
InsulBase RL	2", 2.6"	Hook & Loop
Polyisocyanurate Insulation Coated Glass Facers (CGF)		
SecurShield	½" – 4½" (available in taper)	Fully-Adhered Mechanically-Fastened Ballasted
SecurShield NH	½" – 4½" (available in taper)	Fully-Adhered Mechanically-Fastened Ballasted
SecurShield RL	2", 2.6"	Hook & Loop
Composite Polyiso		
SecurShield HD Composite	1½" to 4½"	Fully-Adhered Mechanically-Fastened

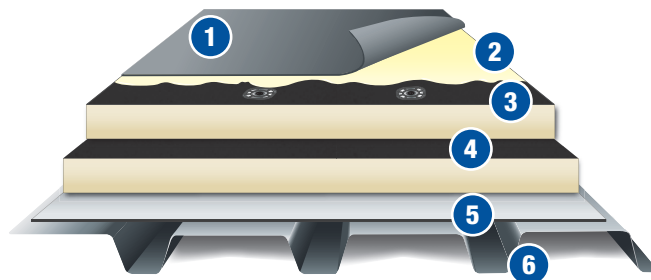
# Typical Applications

## InsulBase HD Polyiso Insulation



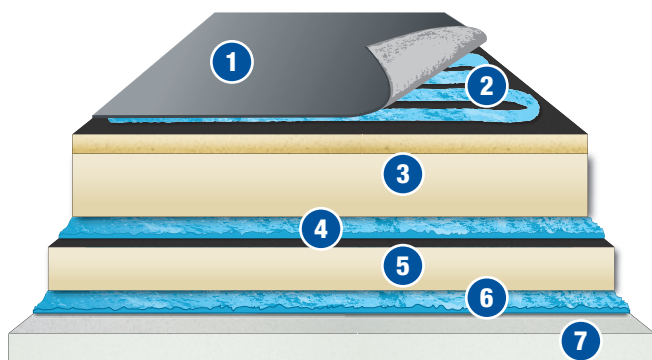
1. Carlisle Mechanically Fastened TPO Membrane
2. Induction Welded Plates with Fasteners
3. ½" InsulBase HD
4. 2 Layers of InsulBase Polyiso Insulation
5. Metal Deck

## SecurShield Polyiso Insulation with ReadyFlash Technology



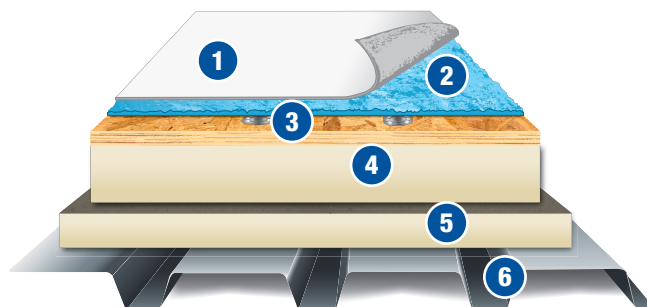
1. Carlisle Adhered EPDM Membrane
2. Carlisle Bonding Adhesive
3. Insulation Fasteners and Plates
4. 2 Layers of SecurShield Polyiso Insulation with ReadyFlash Technology
5. VapAir Seal™ MD
6. Metal Deck

## SecurShield HD Composite



1. Carlisle Adhered EPDM FleeceBACK Membrane
2. Flexible FAST™ Adhesive
3. SecurShield HD Composite Polyiso Insulation
4. Flexible FAST Adhesive
5. SecurShield Polyiso Insulation with ReadyFlash Technology
6. Flexible FAST Adhesive
7. Concrete Deck

## StormBase Polyiso Insulation



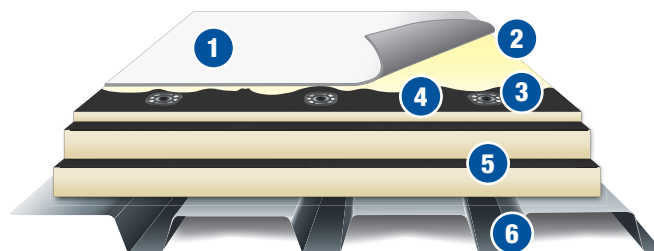
1. Carlisle Adhered TPO FleeceBACK Membrane
2. Flexible FAST Adhesive
3. Insulation Plates and Fasteners
4. StormBase Polyiso Insulation
5. InsulBase Polyiso Insulation
6. Metal Deck

### Wood Deck



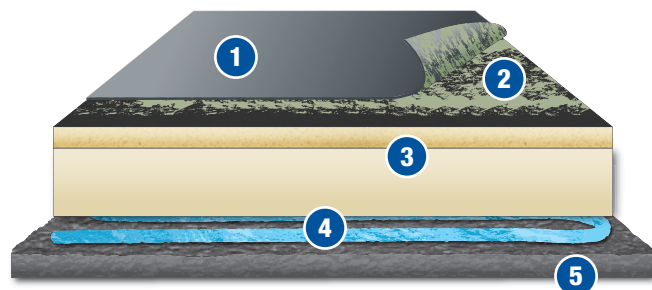
1. Carlisle Mechanically Fastened TPO Membrane
2. Piranha Plates
3. Insulation Fasteners and Plates
4. 1" SecurShield Polyiso Insulation with ReadyFlash Technology
5. Wood Deck

### SecurShield HD Polyiso Insulation with ReadyFlash Technology



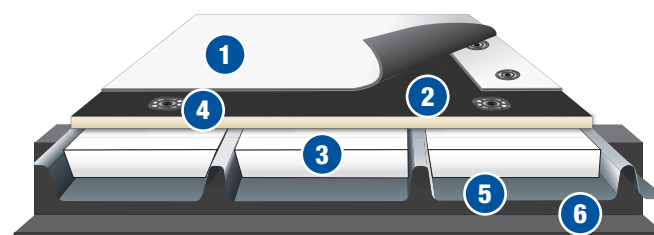
1. Carlisle Adhered PVC Membrane
2. Low-VOC PVC Bonding Adhesive
3. Insulation Fasteners and Plates
4. 1/2" SecurShield HD Polyiso Insulation with ReadyFlash Technology
5. Base layers of SecurShield Polyiso with ReadyFlash Technology
6. Metal Deck

### Gravel BUR Recover



1. Carlisle Adhered EPDM Membrane
2. CAV-GRIP® III Spray Adhesive
3. SecurShield HD Composite Polyiso Insulation
4. Flexible FAST Adhesive
5. Existing Gravel BUR System

### Polyiso Insulation Over Flute Fill



1. Carlisle Mechanically Fastened TPO Membrane
2. Piranha Plates
3. Insulation Fasteners and Plates
4. 1/2" SecurShield HD Polyiso Insulation with ReadyFlash Technology
5. Flute Fill Insulation
6. Existing Metal Roof

*EXPERIENCE THE CARLISLE DIFFERENCE*



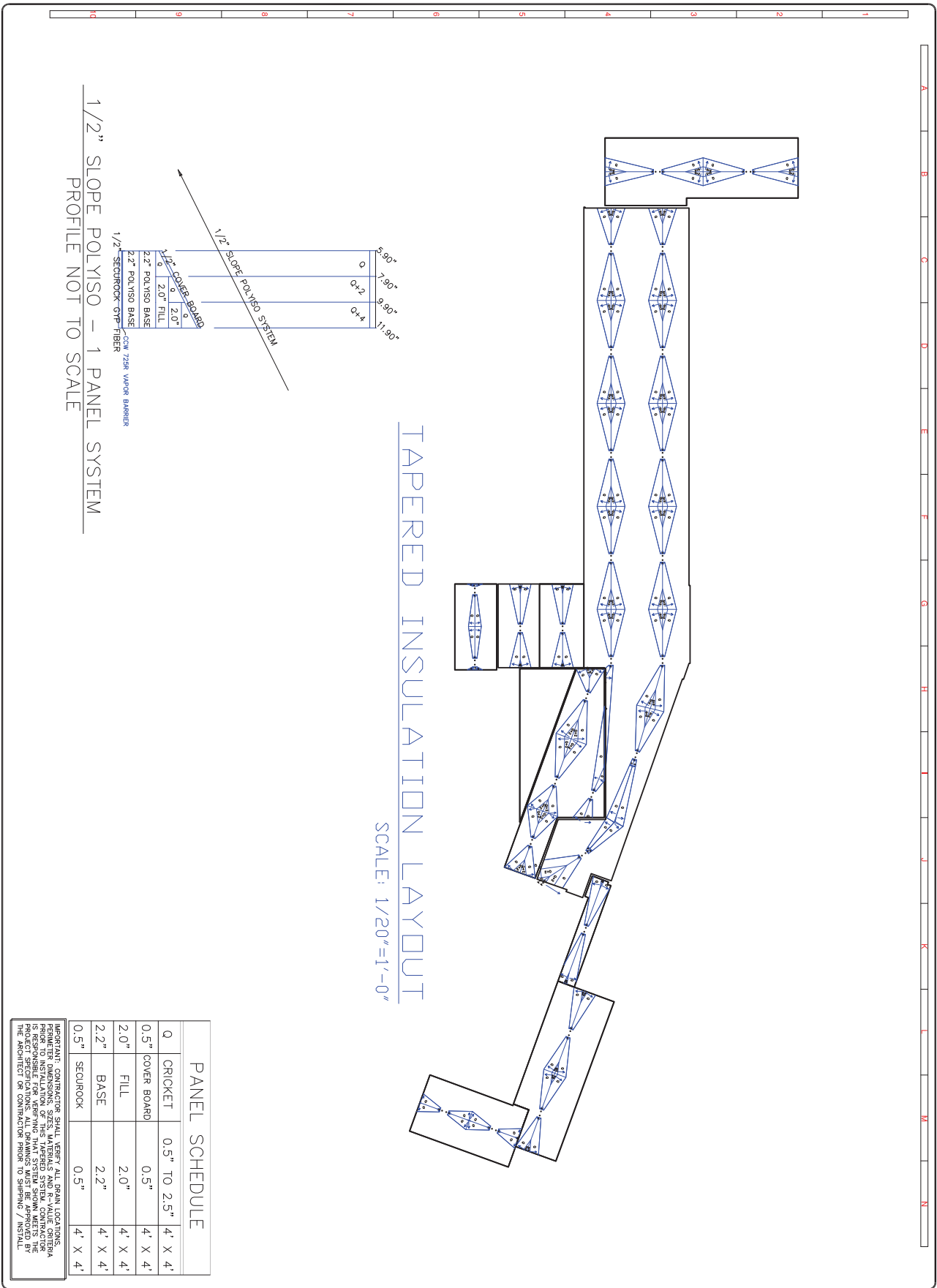
800-479-6832 | P.O. Box 7000 | Carlisle, PA 17013 | Fax: 717-245-7053 | [www.carlisesyntec.com](http://www.carlisesyntec.com)

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PANEL SCHEDULE				
Q	CRICKET	0.5" TO 2.5"	4' X 4'	
0.5"	COVER BOARD	0.5"	4' X 4'	
2.0"	FILL	2.0"	4' X 4'	
2.2"	BASE	2.2"	4' X 4'	
0.5"	SECURROCK	0.5"	4' X 4'	

INSTALLER: CONTRACTOR SHALL VERIFY ALL PANEL LOCATIONS  
 BEFORE INSTALLATION OF THIS TAPERED SYSTEM. CONTRACTOR  
 SHALL BE RESPONSIBLE FOR OBTAINING ALL MATERIALS AND  
 PROJECT SPECIFICATIONS. ALL DRAWINGS MUST BE APPROVED BY  
 THE ARCHITECT OR CONTRACTOR PRIOR TO SHIPPING / INSTALL.

JOB NO. DA-135-8755-A-3  
 SCALE: 1/20" = 1'-0"  
 DATE: 03/17/23  
 DRAWN BY: MICHAEL DAVIS  
 PAGE 1 OF 1

**HILLIARD RECREATION AND WELLNESS CENTER**  
 LOCATION: HILLIARD, OH  
 CONTRACTOR: HITTLE ROOFING INC.  
 ARCHITECT:  
 MATERIAL: POLYISO-20 PSI-CGF  
 TAPER SLOPE: N/A  
 CRICKET SLOPE: 1/2"/FT  
 FILL: 2.0" (4' X 4') BASE: 2.2" (4' X 4')  
 MINIMUM R: 25.00 OVERLAY: 1/2" SECURSHIELD HD PLUS



**TAPERED SOLUTIONS**  
 530 JAMES STREET  
 LAKEWOOD, NJ 08701  
 PHONE: 888-827-3733  
 FAX: 732-730-9450  
 michael.davis@abcsupply.com



IMPORTANT: As a supplier of materials, ABC assumes no responsibility, or field errors in design, engineering, or field conditions. Contractor must verify all materials and dimensions before installation. Shop drawings must be approved prior to shipment of materials. If any changes or on the original quote form, ABC reserves right to resubmit bid.

Approvals:  
 Date:  
 Notes:



# SecurShield® HD Plus POLYISO

## Insulation



### Overview

Carlisle's SecurShield HD Plus Polyiso Insulation is an FM-approved, ½"-thick, high-density polyiso insulation panel specifically designed for use as a cover board in fully adhered systems. Suitable for both re-roofing and new construction applications, this product is manufactured on-line using premium-performance coated glass facers (CGF). SecurShield HD Plus delivers an R-value of 2.5, which is significantly higher than roof cover boards made with other materials such as wood fiber or gypsum.

### Features and Benefits

- » Industry-leading 8 fasteners per 4' x 8' board needed to meet Factory Mutual (FM) 1-90
- » Exceptional protection against hail, rooftop traffic, mold, and moisture
- » High-density formulation achieves FM severe hail rating (SH)
- » 5 times higher R-value and ⅓ the weight of gypsum cover boards
- » 2 times higher R-value than wood fiber boards
- » Lightweight and easy to cut, handle, and install
- » Can be installed in corners and perimeters per FM requirements
- » Coated glass facer provides strong bond for adhered roofing applications



### Sustainable Attributes

Carlisle SynTec Systems' focus has always been innovation - Innovation to solve problems, improve performance, reduce labor, and above all, improve sustainability. Carlisle is committed to driving sustainable and efficient processes in the design and manufacturing of our products.

- » Highest R-value per inch providing maximum energy savings and CO<sub>2</sub> emissions avoidance
- » PIMA Quality Mark(CM) Certification Program participant for Long-Term Thermal R-values (LTTR)
- » CDPH Compliant for maximum allowable concentrations of target VOCs
- » Carlisle Polyiso Roof Insulation and HD Cover Board EPDs available
- » Contributes to LEED® and Green Globes certification requirements
- » End-of-life jobsite disposal options are available for re-use/re-purposing
- » HFC- and HCFC-free formulation

### Installation

#### Mechanically Attached Single-Ply Systems

Each SecurShield HD Plus panel must be secured to the substrate with approved Carlisle fasteners and plates. Butt edges and stagger joints of adjacent panels. Install the roof membrane according to Carlisle specifications.

#### Fully Adhered Single-Ply Systems

SecurShield HD Plus may be secured to the roof deck using Carlisle's Flexible FAST™ Adhesive, fasteners and plates. For adhesive coverage or fastening patterns and requirements, please contact Carlisle's Design Services group. Butt the edges of the insulation panels and stagger the joints. Be certain to install boards with the proper side down, as indicated on each board. Install the membrane according to Carlisle specifications.

*Review Carlisle specifications and details for complete installation information.*

# SecurShield HD Plus POLYISO

## Insulation

### Precautions

Insulation must be protected from open flame and kept dry at all times. Install only as much insulation as can be covered the same day by completed roof-covering material. SecurShield HD Plus is not compatible with hot mop asphalt or ballasted systems. Carlisle will not be responsible for specific building and roof design, for deficiencies in construction or workmanship, for dangerous conditions on the jobsite, or for improper storage and handling. Technical specifications shown in this literature are intended to be used as general guidelines only and are subject to change without notice. Call Carlisle for more specific details or refer to PIMA Technical Bulletin No. 109: Storage and Handling Recommendations for Polyiso Roof Insulation.

### Code and Compliances

- » ASTM C1289, Type II, Class 4, Grade 1 (109 psi max.)
- » International Building Code (IBC) Section 2603
- » UL Standard 790, 263 and 1256: Component of Class A Roof Systems (refer to UL Roof Materials' system directory)
- » FM Standards 4450/4470: Class 1 approval for steel roof-deck constructions (refer to FM RoofNav)
- » California Codes of Regulations, Title 24, Insulation Quality Standard License #TI-1418
- » CAN/ULC S704, Type 3, Class 2
- » Florida Building Code Approval

### Typical Properties and Characteristics

Physical Property	Test Method	Value
Compressive Strength	ASTM D1621	109 psi max
Dimensional Stability	ASTM D2126	<0.5% linear change (7 days)
Water Absorption	ASTM C209	<1% volume
R-value	ASTM C518	2.5
Thickness		½" (13 mm)
Panel Thickness		½" (13 mm)
Panel sizes		4' x 8' (1220 mm x 2440 mm) 4' x 4' (1220 mm x 1220 mm)
Weight		13 lbs (5.9 kg) per 4' x 8' panel 6.5 lbs (2.9 kg) per 4' x 4' panel
Service Temperature		260°F (126°C) or less
Resistance to Mold	ASTM D3273	Passed

Typical properties and characteristics are based on samples tested and are not guaranteed for all samples of this product. This data and information is intended as a guide and does not reflect the specification range for any particular property of this product.

### LEED Information

Pre-consumer Recycled Content	9%
Post-consumer Recycled Content	0%
Manufacturing Location	Smithfield, PA Franklin Park, IL Tooele, UT
Solar Reflectance Index (SRI)	N/A



Foamed plastic as roof deck construction material with resistance to an internal fire exposure only for use in construction no.(s) 120 and 123. See UL Directory of Products Certified for Canada and UL Roofing Materials and Systems Directory. 99DL.



# Sure-Seal® EPDM

## Dusted Non-Reinforced Membranes



### Overview

Carlisle's Sure-Seal EPDM Dusted Non-Reinforced membranes are available in thicknesses of 45-mil (1.14 mm) and 60-mil (1.52 mm), widths of up to 50' (15 m), and lengths of up to 200' (60 m). Ideal for new construction and re-roofing applications, this membrane is available in a Fire Retardant (FR) version that is specially formulated to inhibit the spread of flame and meet or exceed code body testing criteria for fire-retardant roofing membranes.

### Features and Benefits

- » Carlisle EPDM has 50 years of proven performance and industry-leading resistance to weathering, with 41,580 kJ/m<sup>2</sup> total radiant exposure without cracking or crazing
- » Factory-Applied Tape™ seam technology and a full line of Pressure-Sensitive flashing accessories enhance workmanship quality
- » Dark-colored EPDM is the smart choice in colder climates:
  - Reduces heating costs, which are generally 3–5 times greater than air conditioning costs
  - Reduces carbon footprint by lowering heating costs
  - Reduces safety hazards from snow and ice accumulation
  - Reduces hazardous conditions caused by frost, dew, and ice
  - Reduces the potential for condensation problems
- » Life Cycle Assessment using EPA's TRACI model analyzed EPDM, TPO, PVC and Modified Bitumen:
  - EPDM had the lowest global warming potential
  - EPDM had the lowest acid rain impact
  - EPDM had the lowest contribution to smog

- » Numerous studies and real-world experience confirm that Sure-Seal EPDM's 465% elongation and weathering resistance result in superior hail damage resistance (UL 2218 Class 4 Rating)
- » EPDM is the most dimensionally stable, heat-resistant membrane, and stays flexible even in extremely cold conditions down to -40°F (-40°C): see flexibility/torsion DMA data
- » Wide array of design choices that are UL Classified and FM Approved
- » Industry-leading 15-, 20-, and 25-year warranties are available
- » Carlisle manufactures all the major components of a typical roofing system, including membrane, flashings, tapes, adhesives, sealants, insulations, and insulating cover boards

### Carlisle's Factory-Applied Tape Seam Technology

The Factory-Applied Tape process results in a reliable seam with no entrapped air bubbles. Consistent placement of the Factory-Applied Tape maximizes the splice area resulting in a high-quality seam. Factory-Applied Tape has a shelf life of one year.

### Productivity Boosting Features and Benefits:

- » With Carlisle's Factory-Applied Tape, most of the labor to create seams between membrane panels is completed in a quality-controlled, state-of-the-art environment
- » Factory-Applied Tape is available on all Sure-Seal membranes up to 30' (9 m) in width, providing the fastest way to complete a seam in today's roofing market
- » Wider sheets like 16.5', 20', and 25' reduce the frequency of seams compared to 10'-wide sheets



### Installation

Sure-Seal 45-mil (1.14 mm) and 60-mil (1.52 mm) membranes are typically utilized in Design A: Fully Adhered (60-mil only), Design B: Ballasted, and Design C: Loose-Laid Protected roofing systems. Stagger factory seams to avoid a double thickness of membrane in the splice area.

#### For Design A: Fully Adhered Roofing System

Insulation is mechanically attached or adhered to the roof deck. The substrate and membrane are coated with the appropriate Carlisle bonding adhesive. The membrane is then rolled into place and broomed down. To complete seams between two adjoining membrane panels, apply primer to the splice area in conjunction with Carlisle's Factory-Applied Tape. As an alternative, Carlisle's hand-applied SecurTAPE™ may be used.

# Sure-Seal EPDM

## Dusted Non-Reinforced Membranes

### For Design B: Ballasted Roofing System

Insulation is loose-laid over the roof deck. Membrane is loose-laid over the insulation with staggered factory seams and secured with a minimum 10 lbs (4.5 kg) of ballast per square foot. Design C is a similar system with the insulation installed on top of the membrane. To complete seams between two adjoining membrane panels, apply primer to the splice area in conjunction with Carlisle's Factory-Applied Tape. As an alternative, Carlisle's hand-applied SecurTAPE may be used.

### Follow these steps for splicing in temperatures below 40°F (5°C):

1. Heat the primed area of the bottom membrane with a hot-air gun as the top sheet with Factory-Applied Tape is applied and pressed into place.
2. Prior to rolling the splice area with a 2"-wide steel hand roller, apply heat to the top side of the membrane with a hot-air gun. The heated surface should be hot to the touch. Be careful not to burn or blister the membrane.

Review Carlisle specifications and details for complete installation information.

### Precautions

- » Use proper stacking procedures to ensure sufficient stability of the materials.
- » Exercise caution when walking on wet membrane. Membranes are slippery when wet.
- » Membranes with Factory-Applied Tape should not be exposed to prolonged jobsite storage temperatures in excess of 90°F (32°C), otherwise the shelf life of the tape may be affected.
- » When membranes with Factory-Applied Tape are used in warm, sunny weather, shade the tape end of the rolls until ready to use.
- » Stagger factory seams to avoid a double thickness of membrane.
- » Carlisle Factory-Applied Tape has a shelf life of one year.

### LEED® Information

Pre-consumer Recycled Content	5%
Post-consumer Recycled Content	0%
Manufacturing Locations	Carlisle, PA Greenville, IL
Solar Reflectance Index	9
Corporate Sustainability Report	Yes

### Typical Properties and Characteristics

Physical Property	Test Method	SPEC. (PASS)	Typical	
			45-mil	60-mil
Tolerance on Nominal Thickness, %	ASTM D412	±10	±10	±10
Weight, lbm/ft² (kg/m²)			0.29 (1.4)	0.39 (1.9)
Tensile Strength, min, psi (MPa)	ASTM D412	1305 (9)	1600 (11.0)	1600 (11.0)
Elongation, Ultimate, min, %	ASTM D412	300	480	465
Tear Strength, min, lbf/in (kN/m)	ASTM D624 (Die C)	150 (26.3)	200 (35.0)	200 (35.0)
Factory Seam Strength, min	Modified ASTM D816	Membrane Rupture	Membrane Rupture	Membrane Rupture
Resistance to Heat Aging* Properties after 28 days @ 240°F (116°C)	ASTM D573			
Tensile Strength, min, psi (MPa)	ASTM D412	1205 (8.3)	1500 (10.3)	1450 (10.0)
Elongation, Ultimate, min, %	ASTM D412	200	225	280
Tear Strength, min, lbf/in (kN/m)	ASTM D624	125 (21.9)	215 (37.6)	215 (37.6)
Linear Dimensional Change, max, %	ASTM D1204	±1.0	-0.4	-0.50
Ozone Resistance* Condition after exposure to 100 pphm Ozone in air for 168 hours @ 104°F (40°C) Specimen is at 50% strain	ASTM D1149	No Cracks	No Cracks	No Cracks
Brittleness Temp., max, °F (°C)*	ASTM D746	-49 (-45)	-49 (-45)	-49 (-45)
Resistance to Water Absorption* After 7 days immersion @ 158°F (70°C) Change in mass, max, %	ASTM D471	+8, -2	+2.0	+2.0
Water Vapor Permeance* Max, perms	ASTM E96 (Proc. B or BW)	0.10	0.05	0.03
Flexibility/Torsion DMA	ASTM D5279-08	N/A	225 MPa @ -40°F	225 MPa @ -40°F
Fungi Resistance	ASTM G21	N/A	0 (No Growth)	0 (No Growth)
Resistance to Outdoor (Ultraviolet) Weathering* Xenon-Arc, total radiant exposure at 0.70 W/m² irradiance, 80°C black panel temperature	ASTM G155	No Cracks No Cracking 7,560 kJ/m² 3,000 hrs	No Cracks No Cracking 41,580 kJ/m² 16,500 hrs	No Cracks No Cracking 41,580 kJ/m² 16,500 hrs
At 0.35 W/m² irradiance, 80°C black panel temperature		6,000 hrs	33,000 hrs	33,000 hrs

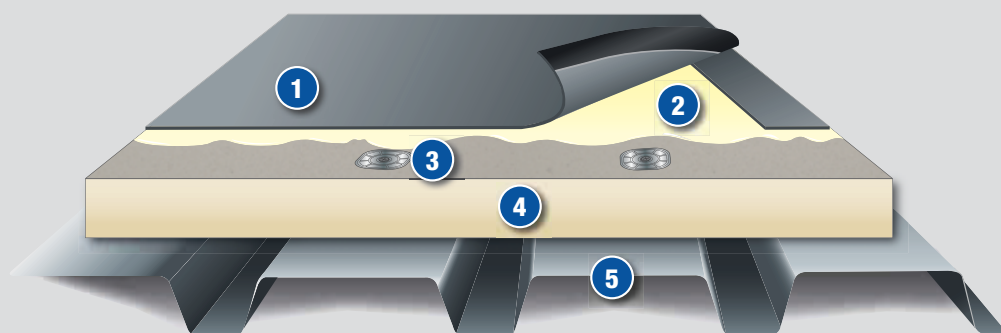
\*Not a quality control test due to the time required for the test or the complexity of the test. However, all tests are run on a statistical basis to ensure overall long-term performance of the sheeting.

Typical properties and characteristics are based on samples tested and are not guaranteed for all samples of this product. This data and information is intended as a guide and does not reflect the specification range for any particular property of this product.

Note: Sure-Seal Dusted Non-Reinforced EPDM membrane meets or exceeds the minimum requirements set forth by ASTM D4637 for Type I non-reinforced EPDM single-ply roofing membranes.

# Sure-Seal® EPDM

## Fully-Adhered Roofing Systems



- 1 Sure-Seal Membrane with Factory-Applied Tape (FAT™)
- 2 Carlisle Bonding Adhesive
- 3 Carlisle Fasteners and Plates
- 4 Acceptable Insulation
- 5 Approved Roof Deck

### Sure-Seal EPDM Membranes for fully adhered roofing systems are available in the following:

Color	Black
Thicknesses (mils)	45, 60 and 90
Standard Widths	10' – 30'
Standard Lengths	50' – 100'

### System Features & Benefits:

- » Over 50 years of proven performance
- » In colder climates, dark-colored EPDM reduces heating costs, which are generally 3–5 times greater than cooling costs
- » Industry leading UV resistance of 41,580 kJ/m²
- » Full thickness of weathering material, no internal scrim
- » 465% elongation results in superior hail damage resistance
- » Lowest global warming potential, acid rain and smog impact according to EPA's TRACI model

Existing or New Deck Type	New Construction						Re-roofing		
	Steel	Plywood or OSB	Lt. Wt. Concrete	Structural Concrete	Wood Planks	Gypsum & Fibrous Cement	Smooth Surface BUR	Gravel Surfaced BUR	Existing Single-Ply
Insulation Required	Yes	No	*Refer to Specs	No	Yes	Yes	No	Yes	Yes
Recommended Insulations	Carlisle Polyiso, OSB or SecurShield™ HD Cover Board over Polystyrene						← Refer to New Construction		
Insulation Attached By	FAST™ Adhesive (non-penetrating) or Carlisle Fasteners and Plates						← Refer to New Construction		
Membrane Attached By	Carlisle-Approved Bonding Adhesive						← Refer to New Construction		

FOR TEAR OFF OPTIONS REFER TO NEW CONSTRUCTION ABOVE.

For current code approvals, warranties and specifications and details, visit Carlisle's web site or contact Project Review.

\* Refer to Carlisle's Adhered Design Criteria portion of the current specification for requirements.



# Sure-Seal® EPDM

## Fully-Adhered Roofing Systems

### Installation

Carlisle's fully adhered roofing system utilizes 45-, 60- and 90-mil Sure-Seal non-reinforced or 45-, 60- and 75-mil Sure-Tough™ reinforced membranes.

Insulation is either mechanically fastened to the roof deck every two square feet, adhered with FAST Adhesive or other Carlisle approved insulation adhesive. Membrane is adhered to the insulation with Carlisle Approved Bonding Adhesive. Adjoining sheets of EPDM are spliced together a minimum of 3" using Carlisle's SecurTAPE™ or FAT™ seam technology.

The above information represents a typical Carlisle fully adhered roofing system. Refer to Carlisle's published specifications and details for more complete information.

### Membrane and System Strengths

- » Carlisle manufactures all major components of the roof system
- » Dimensionally stable in both hot and cold climates
- » No slope restrictions
- » Lightweight assembly for a variety of decks
- » Reduces carbon footprint by lowering heating costs
- » Reduces safety hazard from snow and ice accumulation
- » Reduces hazardous rooftop conditions from frost, dew, or ice that are difficult to see on white membrane
- » Reduces potential condensation problems that can erode system performance
- » FAT Seam Technology and Pressure-Sensitive Flashing accessories enhance workmanship quality
- » 45-mil, 60-mil and 90-mil Sure-Seal membranes available for 15-, 25- and 30-year system warranties
- » Available in 10', 16½', 20', 25' and 30' widths. These widths of non-reinforced Sure-Seal membrane reduce splices between sheets
- » Using Sure-Tough reinforced membrane increases puncture resistance and tolerates heavy foot traffic
- » Carlisle's Fully Adhered Roof System offers design flexibility, addresses unconventional building configurations, and conforms to steeply sloped roof designs
- » Zero (no growth) rating for fungal growth

### System Codes

- » UL Class A and B ratings are available over most deck types
- » FM uplift ratings up to 1-120 are available

For code specifics, refer to Carlisle's Code Approval Guide.

### Quality Assurance

Carlisle Authorized Applicators have been trained to install fully adhered roofing systems.

### Inspection

Upon installation completion, and prior to the issuance of a membrane system warranty, an inspection will be conducted by a Carlisle Technical Representative.

### Warranty

Consult your Authorized Applicator or Carlisle Manufacturer's Representative/Distributor for associated warranty charges.

This system properly installed and inspected on a commercial project may receive:

- » A 10-, 15-, 20-, 25- or 30-year (75-mil or 90-mil required) Golden Seal™ Total System Warranty may be requested when all materials used for the roofing installation are manufactured or marketed by Carlisle. A maximum peak gust wind speed coverage of 55 miles per hour is standard. Additional coverage up to 30 years and 120 mph is available.
- » A 1" hail warranty is available with 60-mil EPDM and a 2" hail warranty is available with 75-mil or 90-mil EPDM
- » A 40-year non-prorated ELITE membrane material warranty is available with 90-mil black EPDM
- » Warranty for systems incorporating Carlisle's Sure-Tough membrane include coverage for damage caused by accidental punctures

For more specifics or for international warranty programs, contact Carlisle.



# USG SECUROCK® Gypsum-Fiber Roof Board



## Overview

USG SECUROCK Gypsum-Fiber Roof Board is a high-performance roof board for use in low-slope roofing systems. Its unique, fiber-reinforced, homogenous composition means the panel is strong and water-resistant all the way through to its core. USG SECUROCK Gypsum-Fiber Roof Board provides low absorption and an exceptional bond in adhered systems, and, because of its homogenous composition, achieves high wind uplift ratings with no risk of facer delamination. Made from 97% recycled material, USG SECUROCK Gypsum-Fiber Roof Board combines superior performance with sustainable design for single-ply roofing systems.

## Features and Benefits

- » Exceptional bond and low absorption in adhered systems
- » Resistant to moisture and mold
- » Exceptional wind uplift performance
- » Manufactured from 97% recycled material
- » Provides protection from hail and foot traffic when adhered with insulation adhesive

## Installation

1. All board edges should be loosely abutted and never kicked in tight in typical installations. Please refer to the Typical Properties and Characteristics chart on page 2 to calculate the gap needed for your specific project (coefficient of thermal expansion and linear variation with change in moisture).

2. Install approved fasteners with plates into the USG SECUROCK Gypsum-Fiber Roof Board, flush with the surface. Fasteners should be installed in strict compliance with Carlisle's specifications and details.
3. Locate edge joints on, and parallel to, deck ribs. Stagger end joints of adjacent lengths of USG SECUROCK Gypsum-Fiber Roof Board.
4. Roof boards should never be installed when they are frozen.
5. See properties table for maximum flute span when panels are applied directly over metal decking.
6. For vertical parapet applications, only ½" or ⅝" panels should be used. Maximum framing spacing is 24" o.c.
7. Panel spacing may be needed based on factors like roof deck's size, membrane color, ultimate deck surface temperature and time of year the roof is installed.

*Review Carlisle specifications and details for complete installation information.*

## Precautions

- » Consult Carlisle for specific instructions regarding the application of its products to USG SECUROCK Gypsum-Fiber Roof Board.
- » Keep USG SECUROCK Gypsum-Fiber Roof Board panels dry before, during, and after installation. USG SECUROCK Gypsum-Fiber Roof Board should not be installed in rain, heavy fog, or any other conditions that deposit moisture on the surface of the board. Apply only as much USG SECUROCK Gypsum-Fiber Roof Board as can be covered by the final roof membrane system on the same day. Avoid exposure to moisture from leaks or condensation.
- » For re-roof or re-cover applications, the existing roofing system must be dry throughout prior to application of USG SECUROCK Gypsum-Fiber Roof Board.
- » The plastic or poly packaging applied at the plant to protect the board during transit should be removed upon receipt to prevent condensation or trapping of moisture, which may cause application problems.
- » USG SECUROCK Gypsum-Fiber Roof Board should be stored flat, off the ground, protected from the weather. If stored outdoors, a breathable, waterproof covering should be used.
- » When applying solvent-based adhesives or primers, allow sufficient time for the solvent to evaporate to avoid damage to roofing components.

# USG SECUROCK Gypsum-Fiber Roof Board

## Code Approvals

- » Surface Burning Characteristics and Non-Combustibility in accordance with ASTM E84 (CAN/ULC-S102).
- » ½" and ⅝" thickness – UL Class A in accordance with UL790 (CAN/ULC-S107) (ASTM E108). See the UL Building Materials Directory for more information.
- » ⅝" thickness – Meets requirements of Type X per ASTM C1278 and may be used in ULP series designs as a thermal barrier.
- » Meets FM Class 1 (FM 4450 and FM 4470).
- » Manufactured to conform to ASTM C1278, "Standard Specification for Fiber-Reinforced Gypsum Panel."

## LEED® Information

Pre-consumer Recycled Content	97%
Post-consumer Recycled Content	0%
Manufacturing Location	<div> <div>Bridgeport, AL</div> <div>Plaster City, CA</div> <div>Jacksonville, FL</div> <div>Sperry, IA</div> <div>East Chicago, IN</div> <div>Shoals, IN</div> <div>Baltimore, MD</div> <div>Southard, OK</div> </div> <div> <div>Rainier, OR</div> <div>Aliquippa, PA</div> <div>Washingtonville, PA</div> <div>Galena Park, TX</div> <div>Sweetwater, TX</div> <div>Sigurd, UT</div> <div>Norfolk, VA</div> </div>
Solar Reflectance Index	N/A

## Typical Properties and Characteristics

	¼" (6.6 mm)	⅜" (19.5 mm)	½" (12.7 mm)	⅝" (15.9 mm)
Width, standard	4' (1220 mm)	4' (1220 mm)	4' (1220 mm)	4' (1220 mm)
Length, standard	4' (1220 mm) and 8' (2440 mm)	4' (1220 mm) and 8' (2440 mm)	4' (1220 mm) and 8' (2440 mm)	4' (1220 mm) and 8' (2440 mm)
Pieces per unit (4' x 8' sheets)	50	40	30	24
Weight, nominal lbs./unit (4' x 8' sheets)	2,575	2,575	2,725	2,525
Weight, nominal lbs./sq. ft.	1.57	1.96	2.76	3.2
Flexural strength, parallel, lbs. min., per ASTM C 473	40	70	110	161
Compressive strength, psi nominal	1800	1800	1800	1800
Flute spanability per ASTM E 661	2-⅝"	5"	8"	10"
Permeance, perms, per ASTM E 96	30	26	26	24
R-Value per ASTM C 518	0.2	0.3	0.5	0.6
Coefficient of thermal expansion, inches/inch • °F, per ASTM E 831	8.0 x 10 <sup>-6</sup>	8.0 x 10 <sup>-6</sup>	8.0 x 10 <sup>-6</sup>	8.0 x 10 <sup>-6</sup>
Linear variation with change in moisture, inches/inch • %RH, per ASTM D 1037	8.0 x 10 <sup>-6</sup>	8.0 x 10 <sup>-6</sup>	8.0 x 10 <sup>-6</sup>	8.0 x 10 <sup>-6</sup>
Water absorption, % max, per ASTM C 473	10	10	10	10
Surface water absorption, nominal grams, per ASTM C 473	1.6	1.6	1.6	1.6
Mold resistance per ASTM D 3273*	10	10	10	10
Bending radius	25'	25'	25'	30'

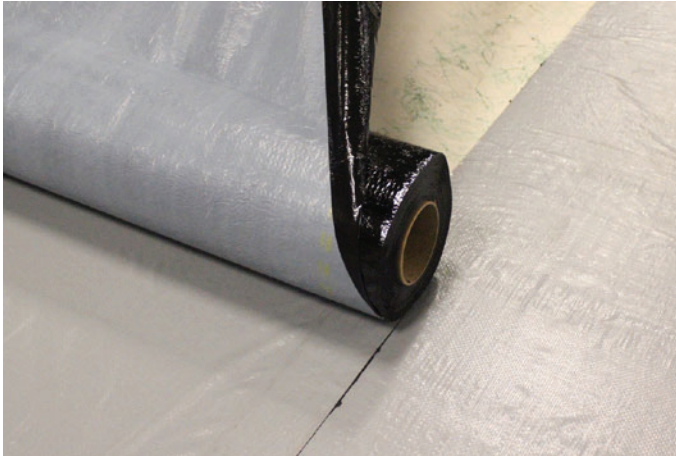
Typical properties and characteristics are based on samples tested and are not guaranteed for all samples of this product. This data and information is intended as a guide and does not reflect the specification range for any particular property of this product.

**\*ASTM D3273 Mold Resistance Testing** - In independent lab tests conducted on SECUROCK Gypsum-Fiber roof board and SECUROCK Glass-Mat roof board at the time of manufacture per ASTM D3273 Standard Test Method for Resistance to Growth of Mold on the Surface of Interior Coatings in an Environmental Chamber, both panels scored a 10. The ASTM lab test may not accurately represent the mold performance of building materials in actual use. Given unsuitable project conditions during storage, installation or after completion, any building material can be overwhelmed by mold. To manage the growth of mold, the best and most cost-effective strategy is to protect building products from water exposure during storage and installation and after completion of the building. This can be accomplished by using good design and construction practices.



# VapAir Seal™ 725TR

## Air and Vapor Barrier/Temporary Roof



### Overview

Carlisle's VapAir Seal 725TR Air and Vapor Barrier/Temporary Roof is a 40-mil composite consisting of 35 mils of self-adhering rubberized asphalt laminated to a 5-mil woven polypropylene film. A one-piece silicone poly release liner is applied to the SBS adhesive to prevent the material from bonding to itself. VapAir Seal 725TR is available in a 325-square-foot roll with dimensions of 39" x 100'. The factory-controlled thickness of the membrane ensures uniform barrier properties on the job; the woven polypropylene film increases strength and has a non-skid surface suitable for the bonding of subsequent layers. Approved Carlisle adhesives for attaching insulation to VapAir Seal 725TR are:

- » Flexible FAST™ Adhesive
- » OlyBond 500™

VapAir Seal 725TR can be used on concrete, plywood, exterior gypsum, DensDeck® Prime, SECUROCK® or other approved substrates in conjunction with Carlisle SynTec roofing systems. Gypsum decks may require additional securement with mechanical fasteners. Use of CAV-GRIP™ III Low-VOC Adhesive/Primer, CCW-702 or CCW-702LV is required on all substrates. VapAir Seal 725TR may be installed directly over a nailed Carlisle Modified Base Sheet when primed with CAV-GRIP III.

VapAir Seal 725TR must be covered with roofing membrane within 120 days. T-joints must be sealed with an internal bead of Carlisle Lap Sealant. Carlisle does not accept responsibility for the watertight integrity of the VapAir Seal 725TR related to workmanship issues or physical damage.

For unusual situations, contact the Project Review and Warranty Services Department prior to specifying this material.

### Installation

**Surface Preparation:** The concrete surface shall be completely dry; dryness shall be determined by a qualified owner's representative. The surface shall have a smooth finish and be free of voids, spalled areas, sharp protrusions, loose aggregate, laitance and form-release agents. Some curing compounds may interfere with proper adhesion, so an adhesion test is recommended. In the event of rain, concrete must be allowed to dry before the application of primer. **Artificial drying methods such as torches are not acceptable.**

**Adhesive:** Surfaces to receive VapAir Seal 725TR must be clean and dry. Use of CAV-GRIP III, CCW-702 or CCW-702LV is required on all substrates. Approved Carlisle adhesives for attaching insulation to VapAir Seal 725TR are: Flexible FAST Adhesive and OlyBond 500.

**Application:** VapAir Seal 725TR material must be stored and kept above 60°F prior to installation. Apply VapAir Seal 725TR from low to high points in a shingle fashion so that the laps will shed water. Overlap all edges by at least 2". End laps should be staggered. Position the membrane carefully to avoid fish-mouths and wrinkles. **Roll the VapAir Seal 725TR membrane immediately after installation with a 100 – 150-pound roller wrapped in a resilient material.** When the VapAir Seal 725TR is applied to a vertical surface, hand-rolling with a 2" or 4" hand roller is required. Vertical surfaces must be prepared in the same fashion as horizontal surfaces.

Note: For applications below 40°F – all materials must be kept above 60°F prior to installation and CAV-GRIP III Primer must be used.

**Seaming:** Apply a 2"-long bead of lap sealant internally along any T-joints or step-offs. Use a hand roller or stand-up seam roller to mate the entire seam together, ensuring the seam's leading edge is rolled properly. Be sure to pay particular attention to the T-joints and step-offs. If seam surface is contaminated, clean and prime with CCW-702, CCW-702LV, or CAV-GRIP III.

*Review Carlisle specifications and details for complete installation information.*

# VapAir Seal 725TR

## Air and Vapor Barrier/Temporary Roof

### Precautions

- » Use proper stacking procedures to ensure sufficient stability of the materials.
- » Exercise caution when walking on wet membrane. Membranes are slippery when wet.
- » VapAir Seal 725TR must be clean and dry prior to installation of subsequent layers.
- » VapAir Seal 725TR should be installed using CAV-GRIP III adhesive when temperatures are below 40°F.
- » VapAir Seal 725TR membrane and primers must be stored above 60°F prior to installation.
- » Avoid moving or stacking heavy loads on the installed membrane, particularly in hot weather. This could thin out the self-adhering barrier layer.
- » Refer to applicable Safety Data Sheets before using any Carlisle products.
- » Do not apply CAV-GRIP III, CCW-702 or membrane to damp or contaminated surfaces.
- » Do not apply CAV-GRIP III, CCW-702 or membrane to frozen substrates.
- » Primers must be allowed to completely flash off. Refer to the primer PDS for flash-off times.

### Typical Properties and Characteristics

Physical Property	Test Method	Typical
Thickness	ASTM D1970	40 mils
Tensile Strength	ASTM D412	250 psi
Elongation	ASTM D412	250%
Peel Adhesion	ASTM D903	5 lbs/in
Puncture Resistance	ASTM E154	60 lbs
Permeability	ASTM D1970*	0.015 perms
Air Permeance	ASTM E2178	0.000 L*m <sup>2</sup> @ 75 Pa
Shelf Life	N/A	1 year

Typical properties and characteristics are based on samples tested and are not guaranteed for all samples of this product. This data and information is intended as a guide and does not reflect the specification range for any particular property of this product.

\*D1970 is tested to E96 standards for permeability.

### LEED® Information

Pre-consumer Recycled Content	0%
Post-consumer Recycled Content	0%
Manufacturing Location	Terrell, TX
VOC Content	0 g/L
Solar Reflectance Index	N/A

### Packaging

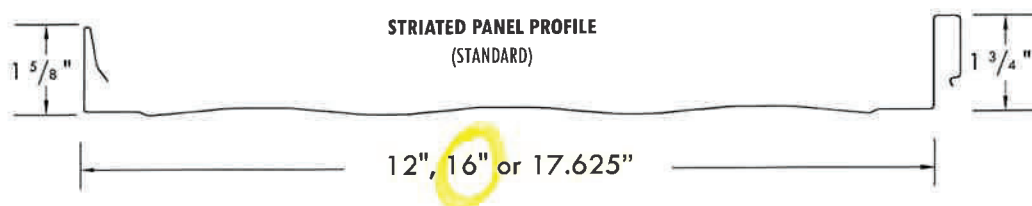
Product	725TR Air & Vapor Barrier/Temporary Roof
Size/Weight	39" x 100' / 89 lbs
Actual Coverage Rate	305 ft <sup>2</sup>
Part Number	330170

# Exhibit "R"

## Hilliard Recreation and Wellness Center

GMP Amendment #3  
3/20/2023

### STANDING SEAM METAL ROOF SYSTEMS



**ULTRA-LOCK UL20** is an architectural panel that is snapped together during installation. The panel is an engineered integral interlocking system by design that installs in one direction from a given starting point. Ultra-Lock is a very flexible panel design that works well with a wide range of building designs.

#### Uses & Applications

Product uses include roofs with slopes as low as 3:12, vertical fascia, equipment screens, mansards, and wall panels.

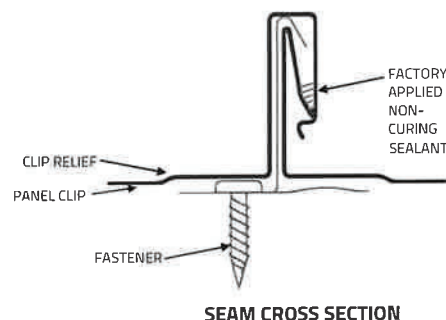
#### Advantages

- Optional Factory Applied Non-Curing Sealant - for superior watertightness
- Engineered Snap-Together Design for easy installation
- Symmetrical Visual Aesthetics - providing a non-directional appearance
- Clip allows for unlimited thermal expansion and contraction
- Continuous Interlocking Seam: no seam disengagement
- Continuous Roll formed Lengths: eliminates need for panel lap joints.
- Total System Warranties Available - for total confidence

#### Performance Tested

- UL-1897 Uplift Resistance
- UL-580 Wind Uplift
- UL-263 Fire Resistance
- UL-790 Fire Rating
- ASTM E283 Air Infiltration
- ASTM E331 Water Penetration

Please consult DMI for applicability of test reports for your project.



**UL20 PANEL CLIP**

18 ga. galv. or stainless steel

800.828.1510 • [www.dmimetals.com](http://www.dmimetals.com) • [sales@dmimetals.com](mailto:sales@dmimetals.com)

**PROVEN. DEPENDABLE. SUSTAINABLE.**

METAL ENVELOPE SYSTEMS SINCE 1988

# ULTRA-LOCK UL20



Project Name: \_\_\_\_\_  
 Architect: \_\_\_\_\_  
 Installing Contractor: \_\_\_\_\_  
 General Contractor: \_\_\_\_\_  
 Specification Section: \_\_\_\_\_

Stiffener

○ \_\_\_\_\_ ○ \_\_\_\_\_  
 ○ \_\_\_\_\_ ○ \_\_\_\_\_

## DynaClad® PVDF Color Chart

 PUTTY SRI = 77	 SANDSTONE SRI = 77	 DOVE GREY SRI = 61	 WHITE SRI = 85	 COBALT BLUE SRI = 20
 BEIGE SRI = 53	 STONE SRI = 49	 SLATE GREY SRI = 47	 PATINA COPPER SRI = 58	 BRITE RED* SRI = 44
 MUSKET GREY SRI = 35	 SEAPORT SRI = 35	 COLONIAL RED SRI = 34	 TERRA COTTA SRI = 43	 METALLIC SILVER SRI = 53
 BURGUNDY SRI = 34	 HEMLOCK GREEN SRI = 31	 LEAF GREEN SRI = 31	 SLATE BLUE SRI = 34	 CHAMPAGNE SRI = 51
 SPARTAN BRONZE SRI = 30	 CLASSIC BRONZE SRI = 29	 MATTE BLACK SRI = 29	 CHARCOAL GREY SRI = 31	 METALLIC COPPER SRI = 49
 DARK BRONZE SRI = 27	 ROYAL BLUE SRI = 27	 HARTFORD GREEN SRI = 26	 EVERGREEN SRI = 26	 AGED COPPER SRI = 43
	 BROWN SRI = 25		 WEATHERED ZINC SRI = 37	

Metallic Colors †  
 Premium Colors \*\*

### Panel Width

- ☐ 12"
- ☒ 16"
- ☐ 18" (17.625")

### Clip

- ☒ Expansion

### Substrate

- ☒ 24 ga. Galvalume®
- ☐ 22 ga. Galvalume®
- ☐ .032 Aluminum
- ☐ .040 Aluminum

### Embossed:

Consult DMI for minimum quantities, upcharges, set up fees and extended lead times

### Standard Finishes

- ☒ DynaClad® PVDF:
- ☐ Acrylic Coated Galvalume (Acrlyume®)
- ☐ Clear Anodized Aluminum

### Premium Finishes\*

- ☐ DynaClad® Metallic PVDF:
- ☐ DynaClad® Brite Red PVDF
- ☐ DynaClad® Cobalt Blue PVDF
- ☐ DynaClad® Standard Color PVDF w/ Clearcoat:
- ☐ DynaClad® Metallic Color PVDF w/ Clearcoat:
- ☐ Custom Color: \_\_\_\_\_

\*Premium Colors subject to minimum quantities, extended lead times and upcharges. Consult DMI for details.

### Warranty

#### Finish

- ☒ DynaClad® Paint Finish
- ☒ Galvalume® 20 Year - 6 Month (Substrate)
- ☐ Aluminum Sheet 2 Year (Substrate)

#### Watertight

- ☒ DynaClad® Metal Roofing System:
- ☐ DynaClad® Metal Roofing System NDL:

### Custom Colors Available

Colors shown are samples and may vary slightly from actual material.

Please consult DMI Color Chart for stocking color availability.

†Metallic colors are directionally sensitive and therefore entire roof areas should be ordered at once time to ensure uniformity.

\*Brite Red has a clear coat. \*\*Premium colors carry an upcharge.

Since 1988 Dimensional Metals, Inc. (DMI) has specialized in the manufacturing of architectural metal roof and wall panel systems as well as fabricated architectural sheet metal for the construction industry. We are backed by decades of proven metal envelope design, dependable Technical Field Services, and an Engineering Department delivering sustainable solutions. You are sure to find the product that will best enhance your design.

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